



Historic Preservation Commission

Regular Meeting
<http://www.roswellgov.com/>
~Agenda~

Chair Philip Mansell
Vice Chair Mark Donnolo
Commissioner Ron Jackson
Commissioner Lossie Lively
Commissioner Gurtej Narang
Commissioner Mary Nichols
Commissioner Michael Sutton
Roswell Historical Society Judy Meer

Wednesday, September 10, 2025

6:00 PM

City Hall - Council Chambers

**** Possible Quorum of Mayor and City Council ****

Welcome

I. Call to Order

II. Partial Demolition

1. HPC 20252779 - 1076 Canton Street - Certificate of Appropriateness for partial demolition for the restoration of an existing historic structure *(previously deferred)*

III. Certificate of Appropriateness

2. HPC 20253047 - 52 Goulding Place – Retaining wall replacement

IV. Discussion – Process Update

V. Minutes

3. August 13, 2025 HPC Minutes

VI. Adjournment



City of Roswell
Historic Preservation Commission

AGENDA ITEM REPORT

ID # - 9996

MEETING DATE: September 10, 2025

DEPARTMENT: Historic Preservation Commission

ITEM TYPE: Public Hearing

HPC 20252779 - 1076 Canton Street - Certificate of Appropriateness for partial demolition for the restoration of an existing historic structure

Item Summary:

In the August 29, 2025 submission, the applicants are proposing to restore the existing structure at 1076 Canton Street, maintaining the chimneys in their place, and adhering to a phased partial demolition and restoration process assisted with the City of Roswell's Chief Building Official, in order to maintain both the safety of the structure and the historical character of the building, in general.

Committee or Staff Recommendation:

Staff recommend approval with conditions for HPC 20252779. Staff recommends the following conditions:

1. The applicants must submit a detailed engineering report to the Chief Building Official, Planning & Zoning Director, and Historic District Planner confirming that the building can withstand the scope of work;
2. The building must be inspected by the Chief Building Official to demonstrate that the historic-portion of the building can withstand a restoration that will include the removal and replacement of materials;
3. The applicant must adhere to any and all shoring and phasing requirements issued by the Chief Building Official;
4. Any original historic materials (all materials that have a reasonable chance of having been installed prior to 1975), that are not rotten, broken, or otherwise damaged beyond repair, are to be placed back on the structure in their original location; and,
5. Applicants must provide a written inventory to the Planning & Zoning Director of materials to be reused.

Financial Impact:

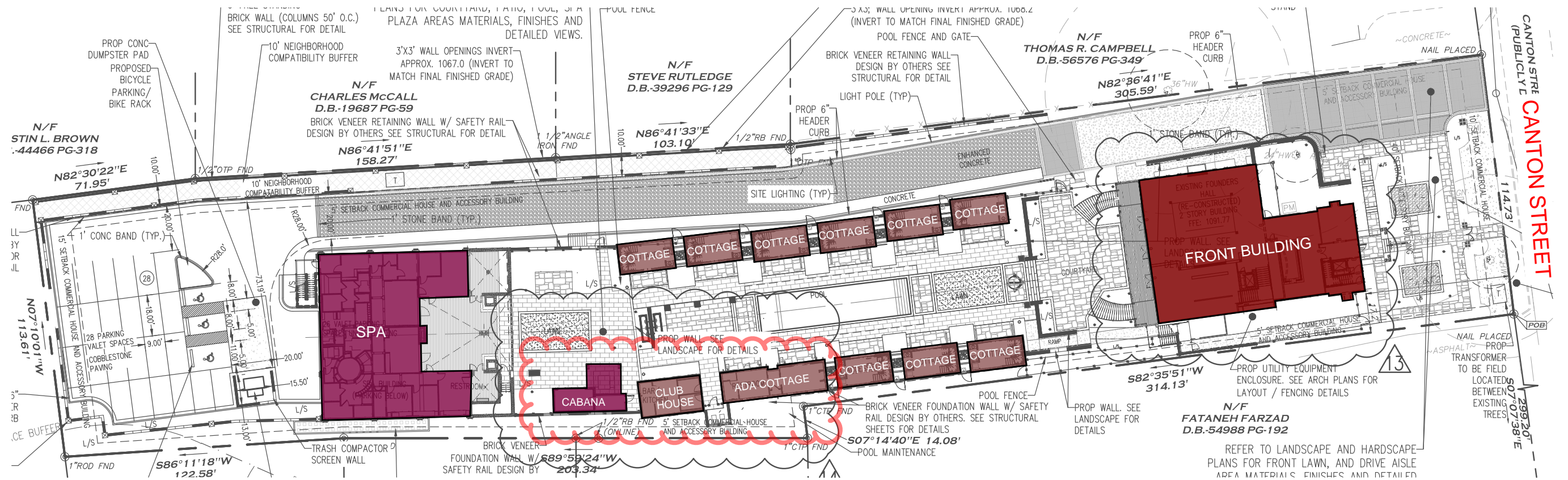
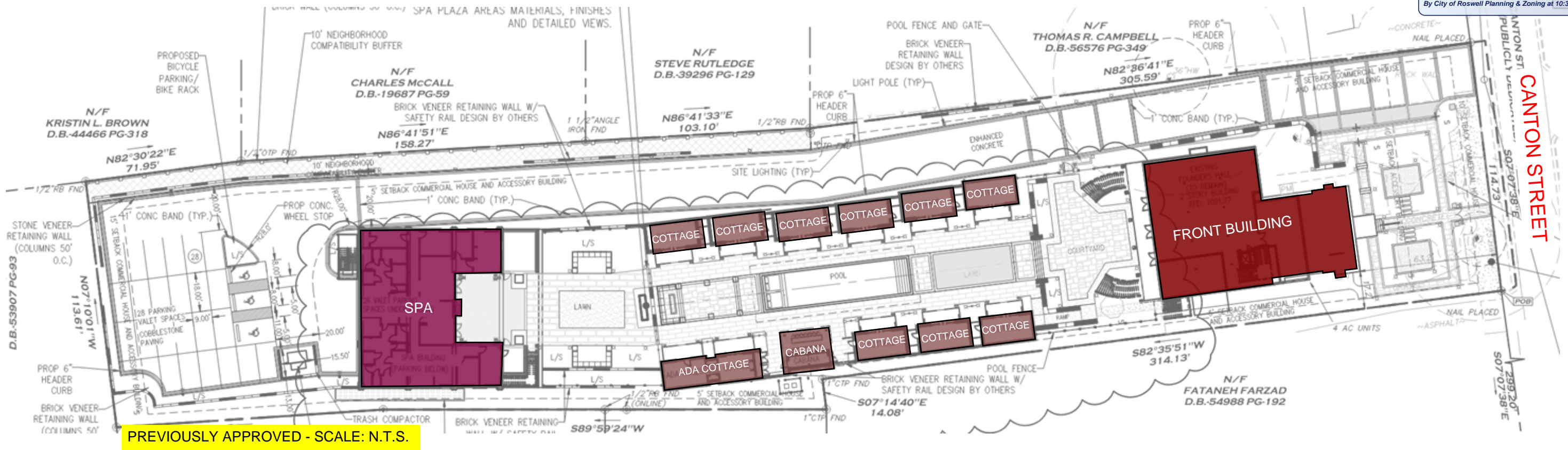
N/A

Recommended Motion:

To approve HPC 20252779, 1076 Canton Street demolition, with conditions recommended by Staff.

Presented by:

Shea N. Dixon, Planner II



Attachment: 1076 Canton Street - Revised Restoration Plan (HPC 20252779 - 1076 Canton Street Demo)



SITE PLAN

Development By Hugo-Posh Development

TEN SEVENTY-SIX

1076 CANTON STREET
ROSWELL, GA 30075

06/20/25

2021112.10



RANDAL
PAULSON

Packet Pg. 3



CIRCA 1970's



CIRCA 1976

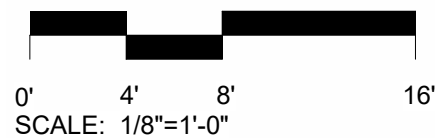
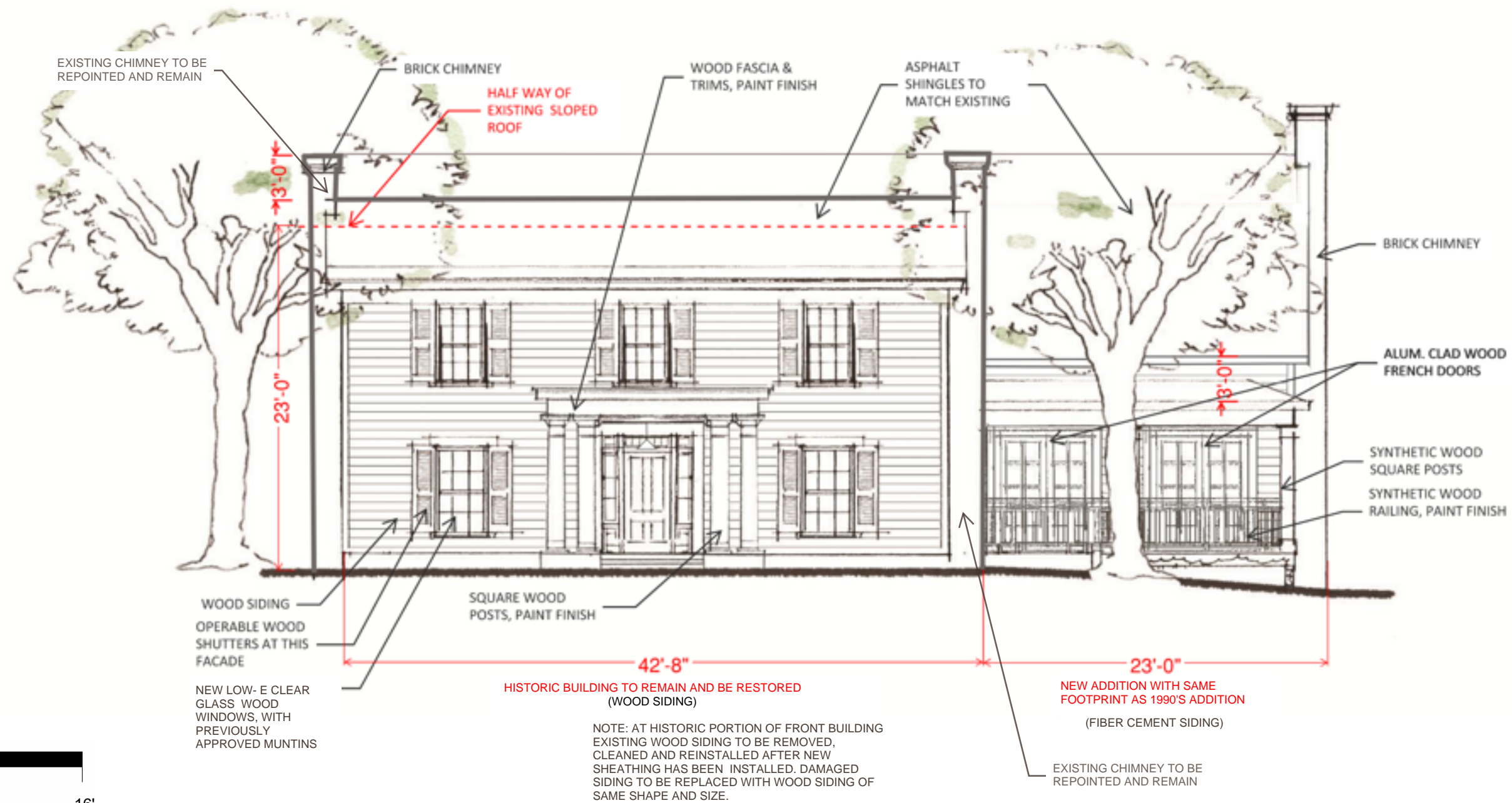
IDENTIFICATION:
Building Name(s) _____
Town/City Roswell Street Address 1076 Canton St
Use: Original Residence Present Residence

Map: RESIDENCE

4-14

CIRCA 1976

NOTE:
THE EXHIBITED HISTORIC PHOTOS OF THE EAST ELEVATION FACING CANTON STREET DEPICT THE ORIGINAL PORCH OF THE HOUSE PRIOR TO THE CONSTRUCTION OF ITS CURRENT REPLACEMENT. THIS DESIGN PROPOSES THE RESTORATION OF THE ORIGINAL FACADE BY CREATING A SIMILAR DESIGN FOR THE PORCH.



FRONT BUILDING EAST ELEVATION

Development By Hugo-Posh Development

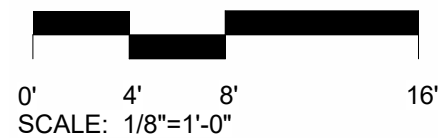
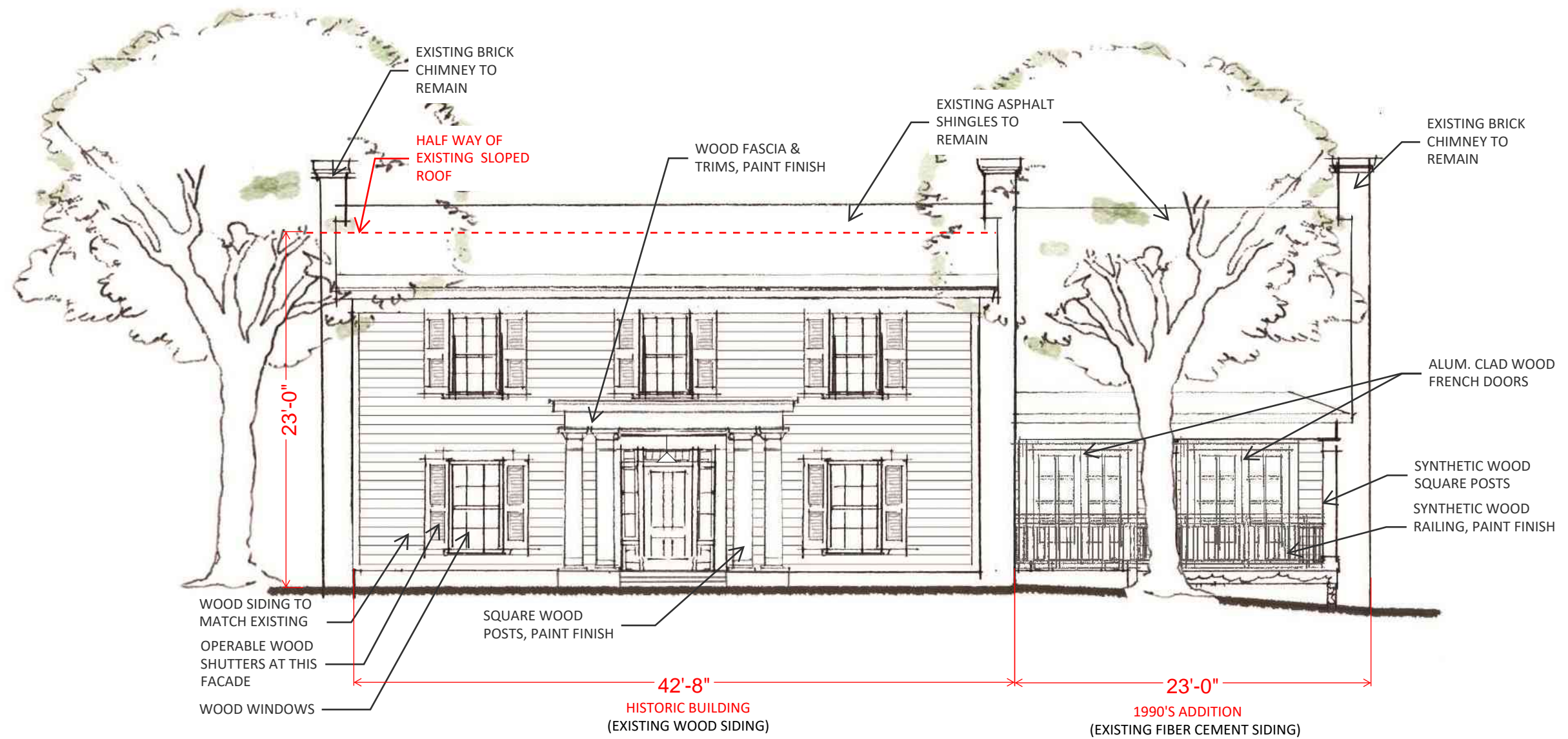
TEN SEVENTY-SIX

1076 CANTON STREET
ROSWELL, GA 30075

06/20/25

2021112.10





PREVIOUSLY APPROVED



FRONT BUILDING EAST ELEVATION

Development By Hugo-Posh Development

TEN SEVENTY-SIX

1076 CANTON STREET
ROSWELL, GA 30075

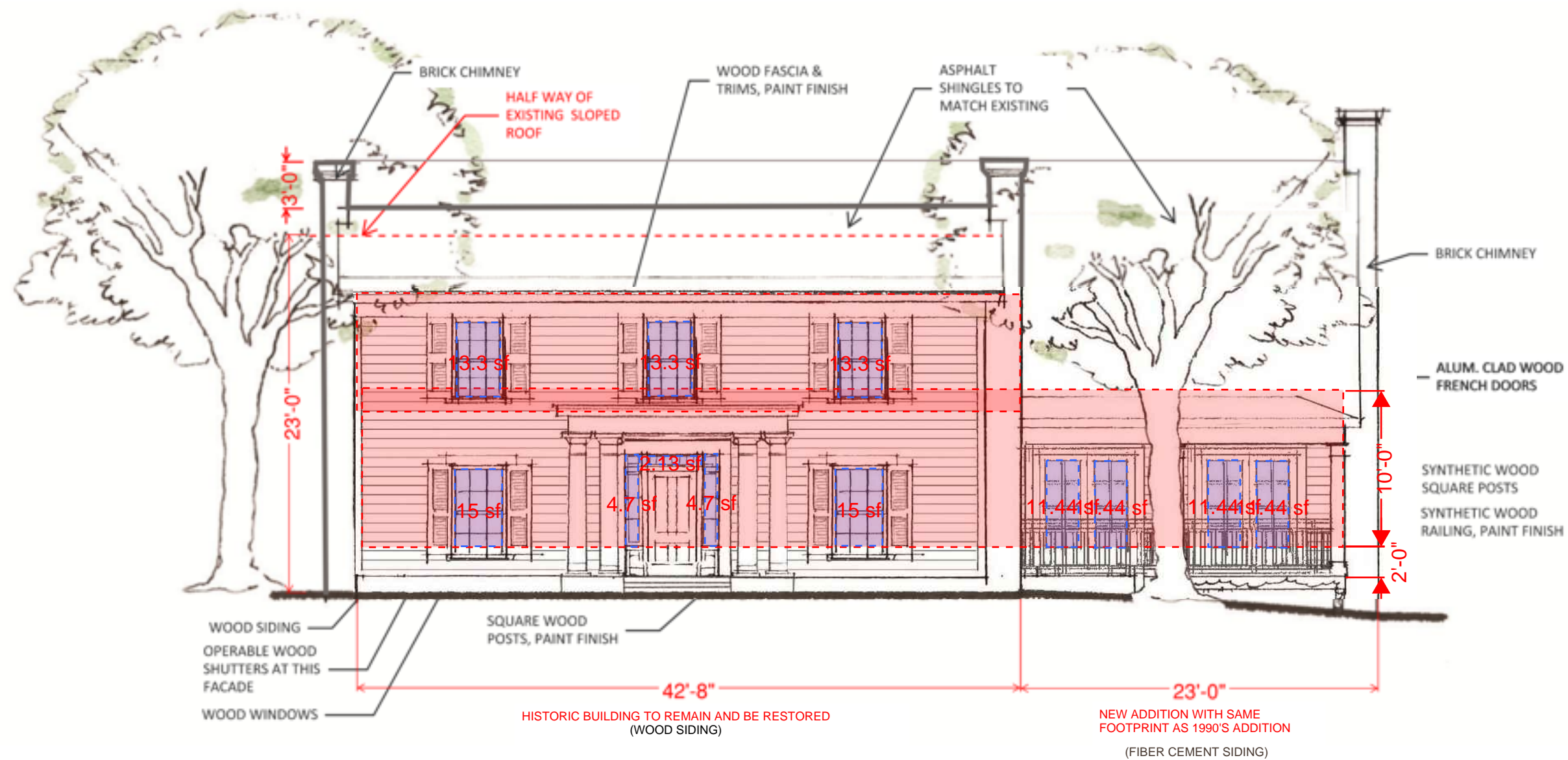
06/20/25

2021112.10



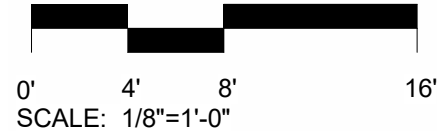
RANDAL
PAULSON

Packet Pg. 6



TRANSPARENCY: PRIMARY
GRADE LEVEL EXISTING: 12% (20% CLASSIFIED AS COMMERCIAL HOUSE)
UPPER LEVEL EXISTING: 12% (20% CLASSIFIED AS COMMERCIAL)

LEGEND
[Red dashed line] EXTENT OF GRADE LEVEL / UPPER LEVEL FACADE SUBJECT TO TRANSPARENCY REQUIREMENT
[Blue shaded area] WINDOW AND OPENING AREAS AT GRADE LEVEL / UPPER LEVEL



FRONT BUILDING EAST ELEVATION - TRANSPARENCY

Development By Hugo-Posh Development

TEN SEVENTY-SIX

1076 CANTON STREET
ROSWELL, GA 30075

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FRONT BUILDING - ROOF COMPARISSON

Development By Hugo-Posh Development

TEN SEVENTY-SIX

1076 CANTON STREET
ROSWELL, GA 30075

06/20/25

2021112.10

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PAULSON

Packet Pg. 8

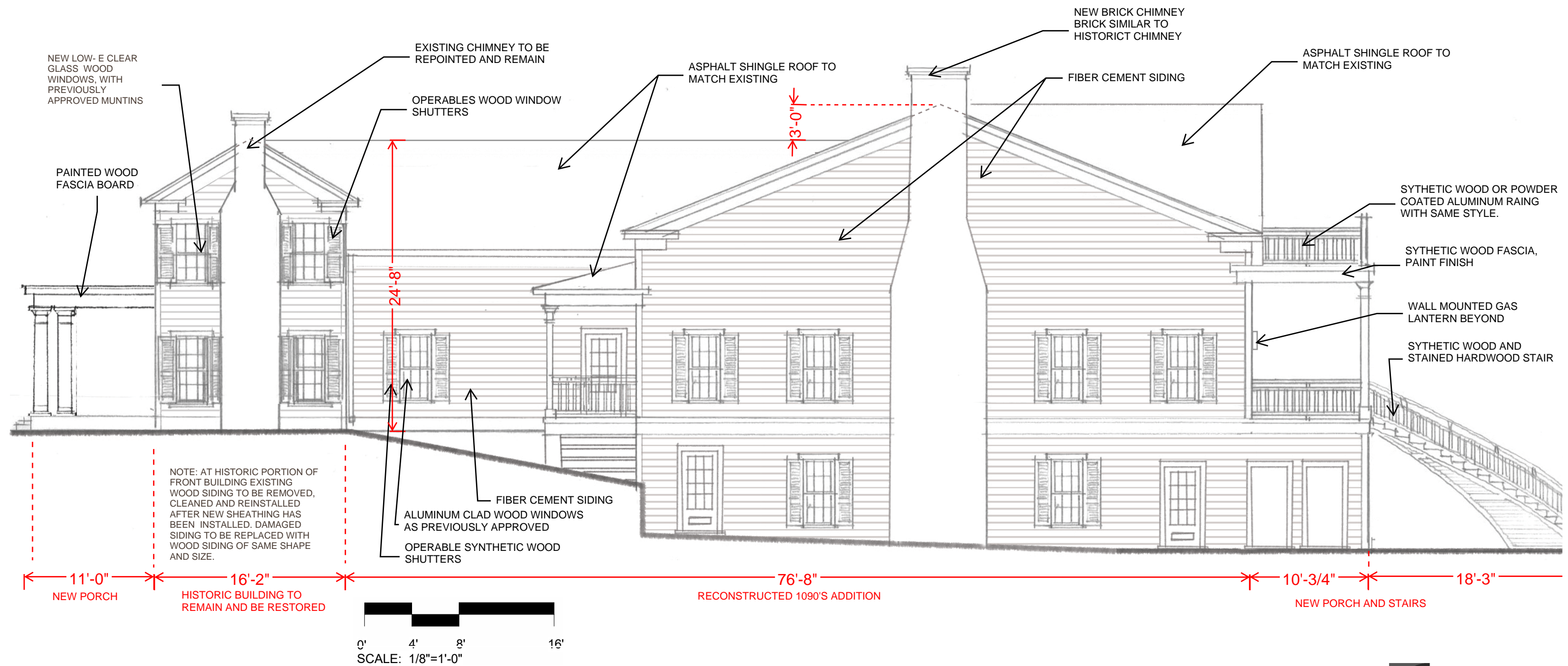


FRONT BUILDING - ROOF COMPARISSON
Development By Hugo-Posh Development

TEN SEVENTY-SIX
1076 CANTON STREET
ROSWELL, GA 30075

06/20/25
2021112.10





Attachment: 1076 Canton Street - Revised Restoration Plan (HPC 20252779 - 1076 Canton Street Demo)



FRONT BUILDING NORTH ELEVATION

Development By Hugo-Posh Development

TEN SEVENTY-SIX

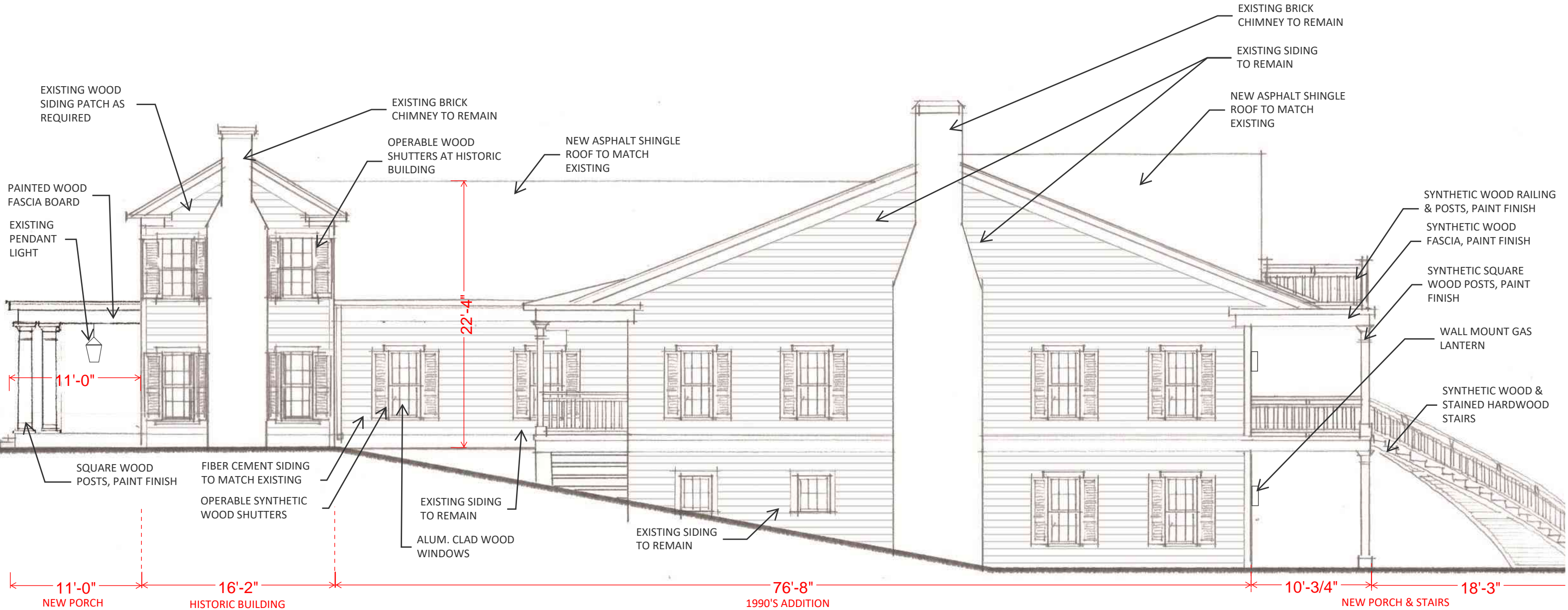
1076 CANTON STREET
ROSWELL, GA 30075

06/20/25

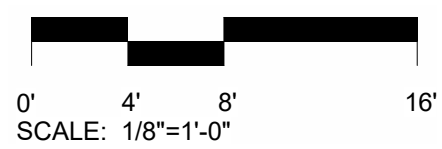
2021112.10

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Packet Pg. 10



PREVIOUSLY APPROVED



Attachment: 1076 Canton Street - Revised Restoration Plan (HPC 20252779 - 1076 Canton Street Demo)



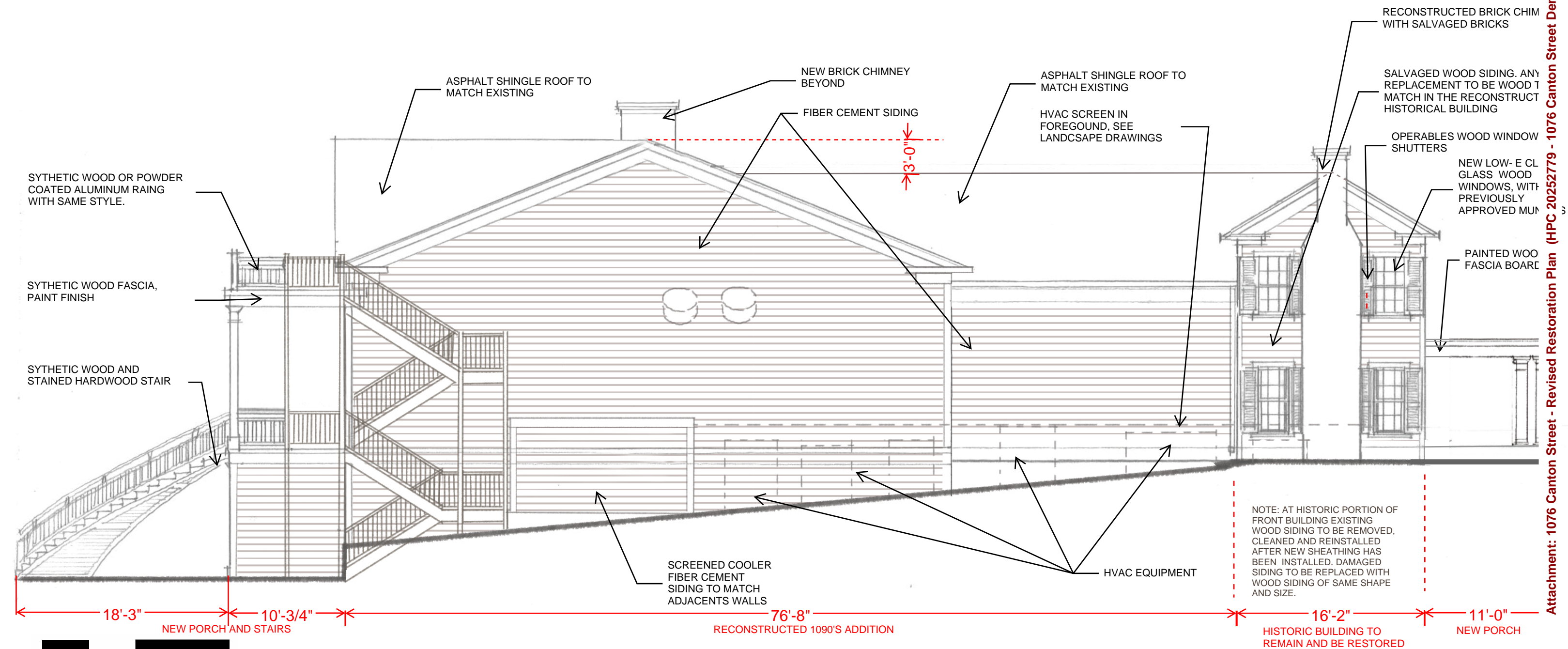
FRONT BUILDING NORTH ELEVATION
Development By Hugo-Posh Development

TEN SEVENTY-SIX
1076 CANTON STREET
ROSWELL, GA 30075

06/20/25
2021112.10



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Packet Pg. 11



0' 4' 8' 16'
SCALE: 1/8"=1'-0"



FRONT BUILDING SOUTH ELEVATION

Development By Hugo-Posh Development

TEN SEVENTY-SIX

1076 CANTON STREET
ROSWELL, GA 30075

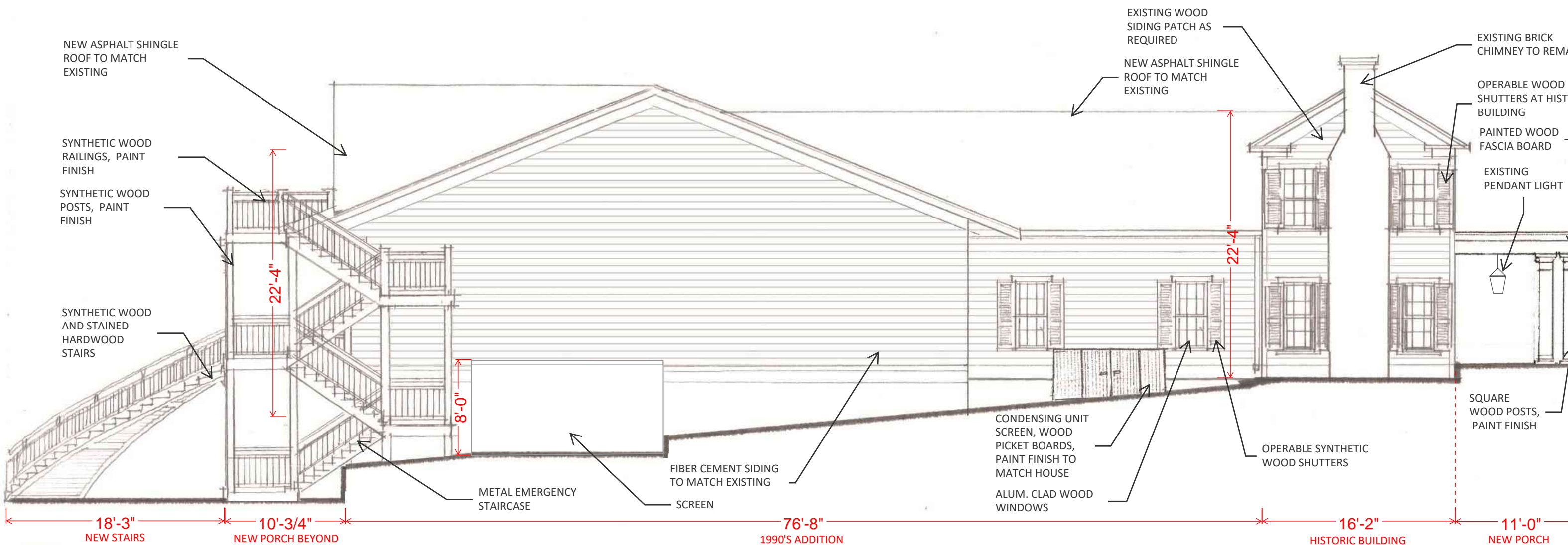
06/20/25

2021112.10

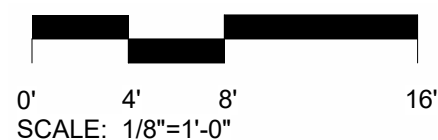


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PAULSON

Packet Pg. 12



PREVIOUSLY APPROVED



FRONT BUILDING SOUTH ELEVATION

Development By Hugo-Posh Development

TEN SEVENTY-SIX

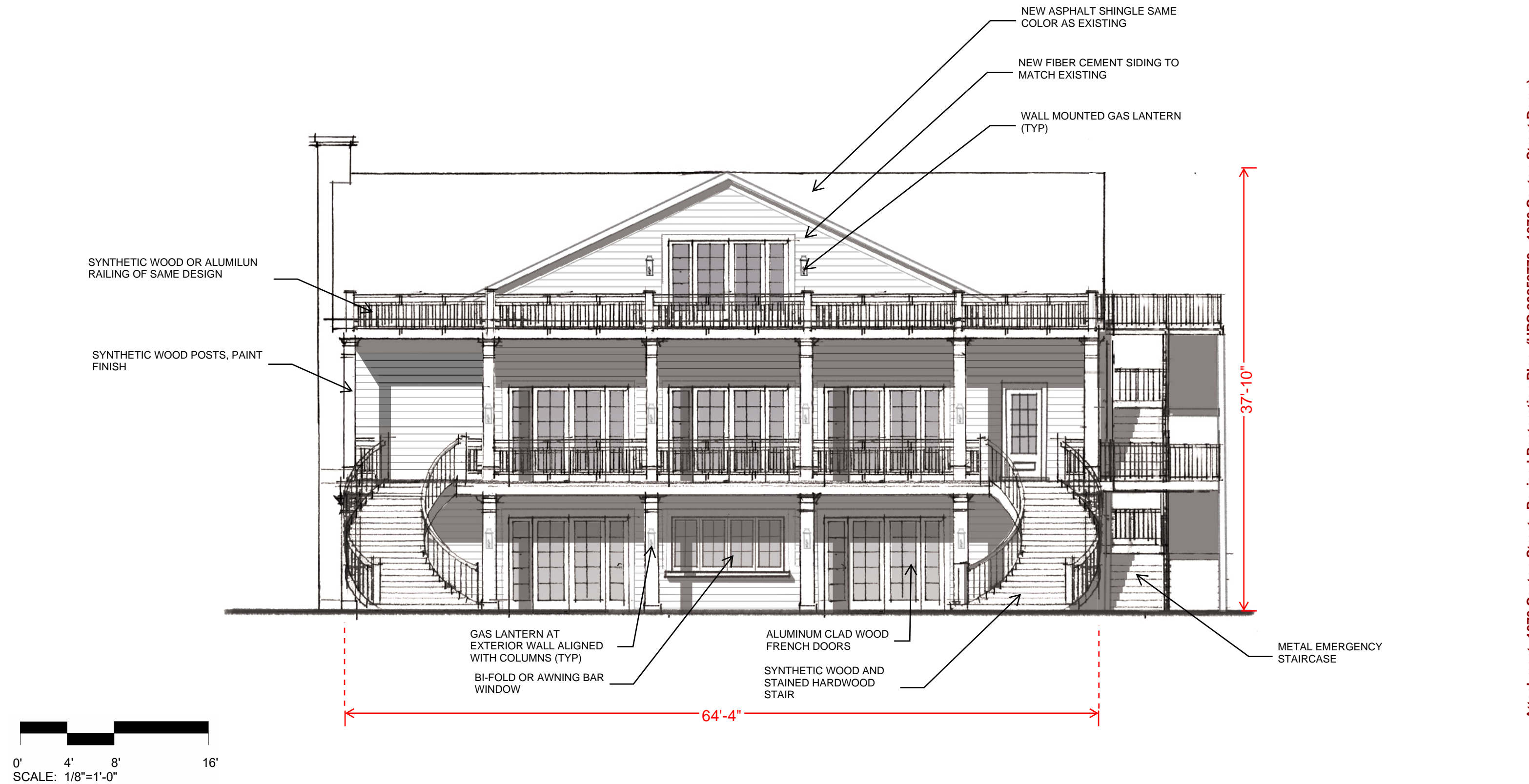
1076 CANTON STREET
ROSWELL, GA 30075

06/20/25

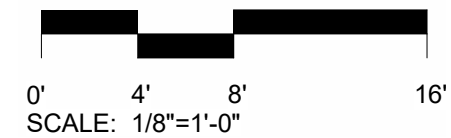
2021112.10

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PAULSON

Packet Pg. 13



Attachment: 1076 Canton Street - Revised Restoration Plan (HPC 20252779 - 1076 Canton Street Demo)



FRONT BUILDING WEST ELEVATION
Development By Hugo-Posh Development

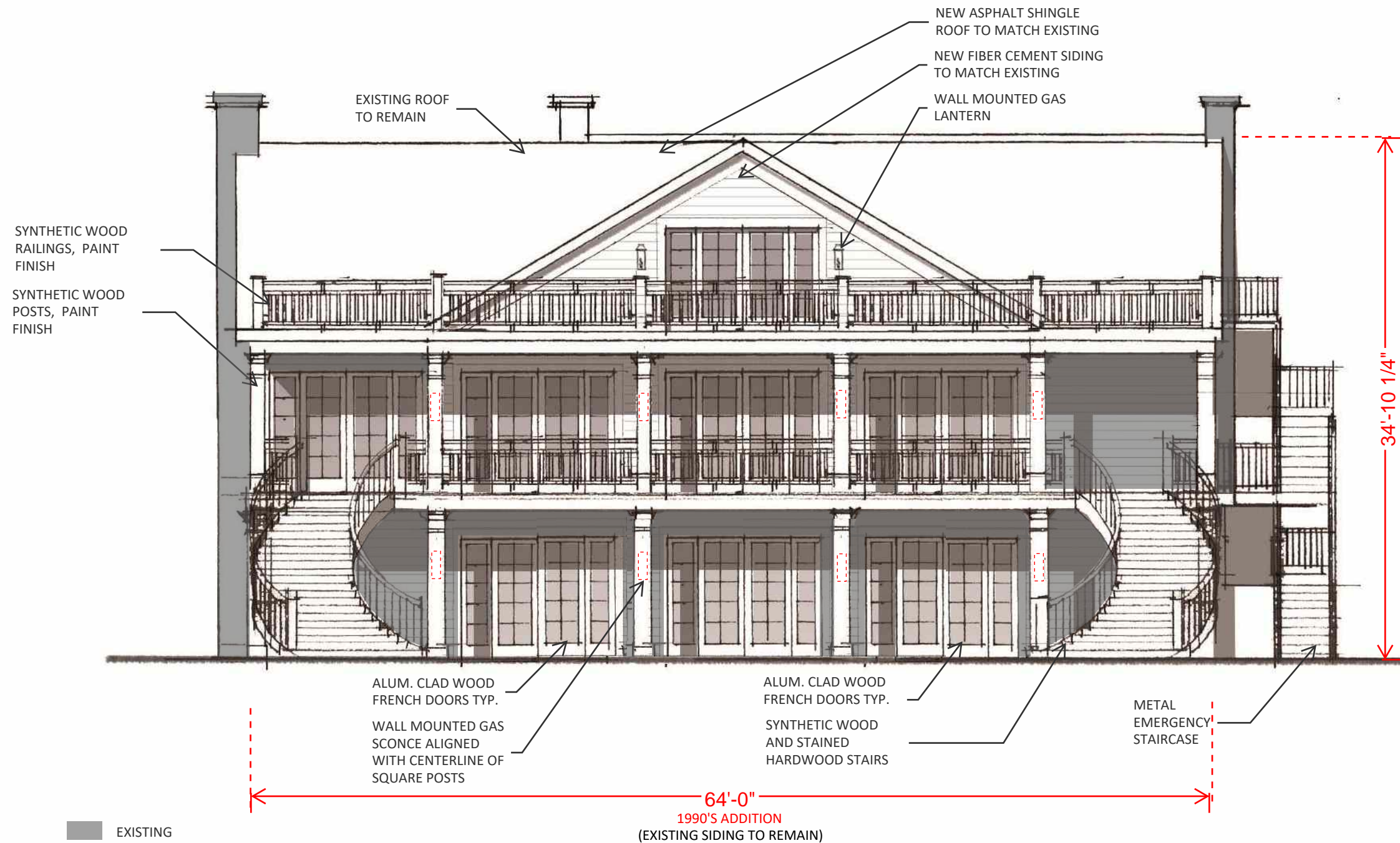
TEN SEVENTY-SIX
1076 CANTON STREET
ROSWELL, GA 30075

06/20/25
2021112.10

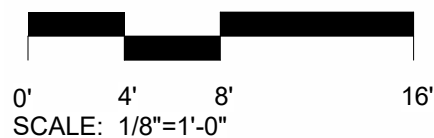


RANDAL
PAULSON

Packet Pg. 14



PREVIOUSLY APPROVED



FRONT BUILDING WEST ELEVATION

Development By Hugo-Posh Development

TEN SEVENTY-SIX

1076 CANTON STREET
ROSWELL, GA 30075

06/20/25

2021112.10



Packet Pg. 15



EXISTING ASPHALT SHINGLES TO REMAIN



SQUARE WOOD COLUMNS & POSTS, PAINT FINISH



WOOD SIDING TO MATCH EXISTING



FIBER CEMENT SIDING (EXPOSURE TO MATCH EXISTING)



SYNTHETIC WOOD AND STAINED HARDWOOD STAIRS



SYNTHETIC WOOD RAILING, PAINT FINISH



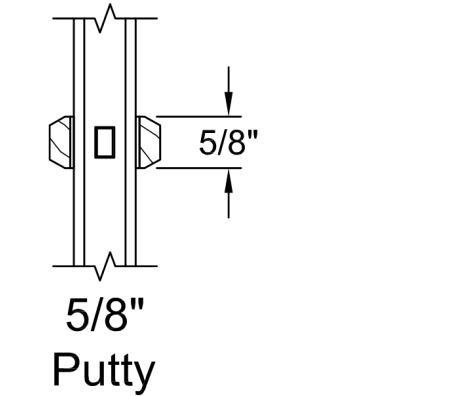
NEW PORCH - WOOD POSTS AND FASCIA, PAINT FINISH



CAROLINA LANTERNS - OLD VILLAGE WALL MOUNT GAS LANTERN (IN 1990'S ADDITION WEST FACADE)



OPERABLE WOOD SHUTTERS, PAINT FINISH



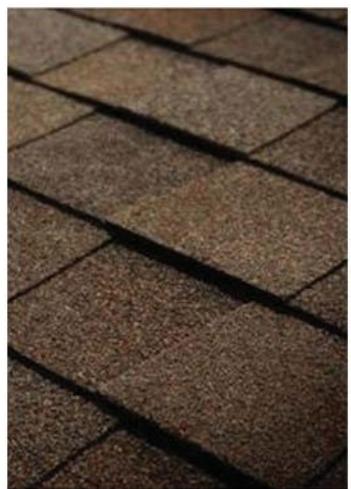
WINDOW MUNTIN DETAIL



MAIN FACADE

HISTORIC STRUCTURE FINISHES

1990'S ADDITION FINISHES



ASPHALT SHINGLE ROOF TO MATCH EXISTING



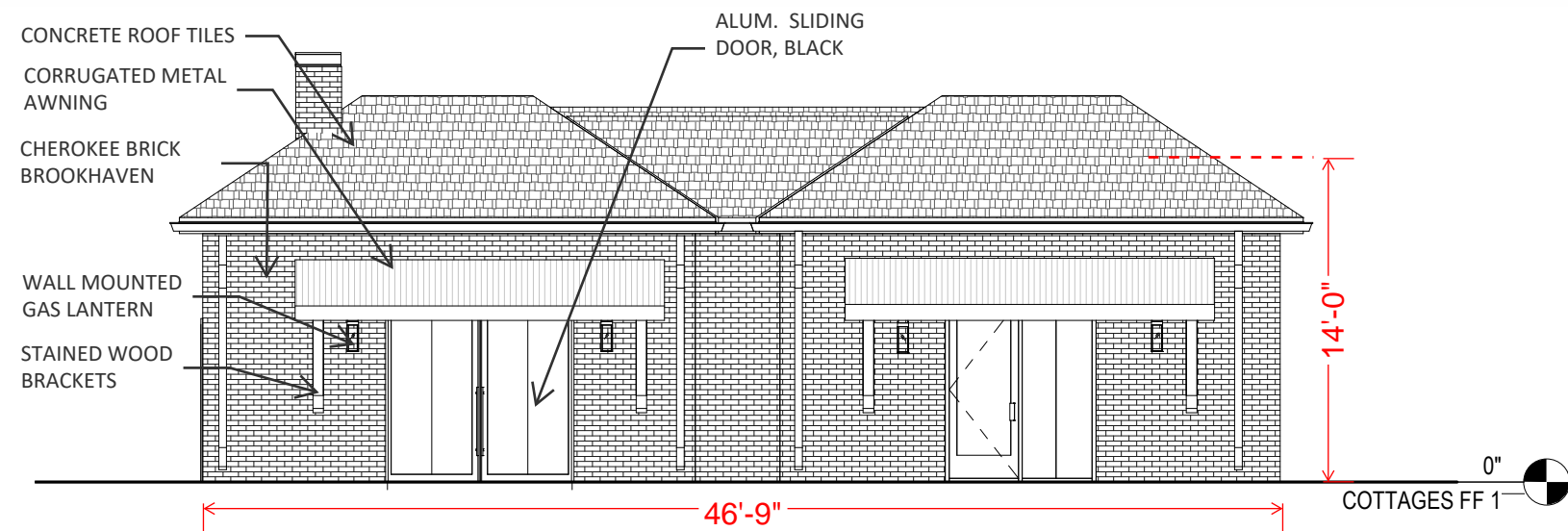
ALUM. CLAD WOOD FRENCH DOOR SYSTEM W/ 5/8" MUNTINS



SYNTHETIC WOOD COLUMNS AND POSTS, PAINT FINISH

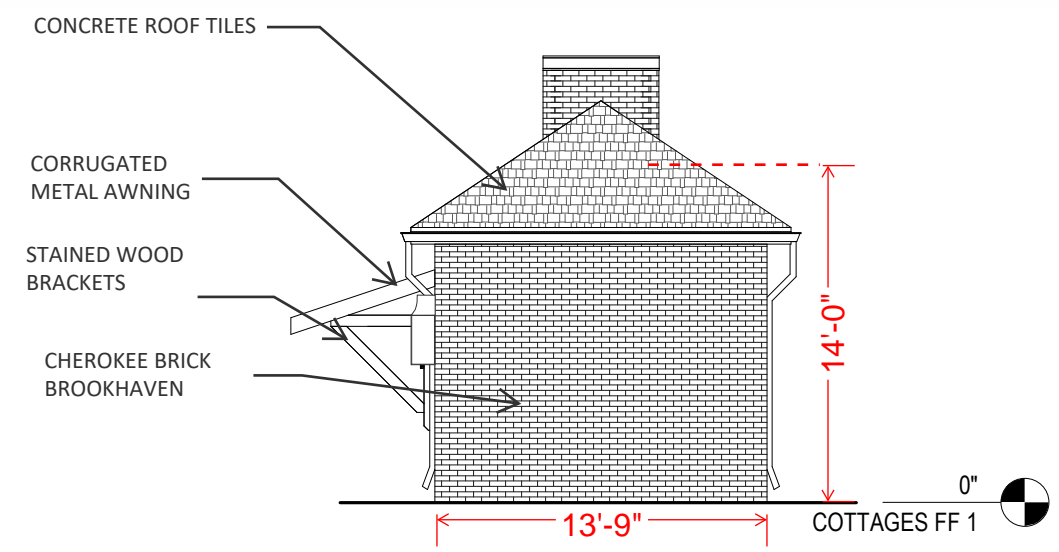


ALUM. CLAD WOOD WINDOWS W/ 5/8" MULLIONS & OPERABLE SYNTHETIC WOOD SHUTTERS, PAINT FINISH (SEE MUNTIN DETAIL - LEFT)



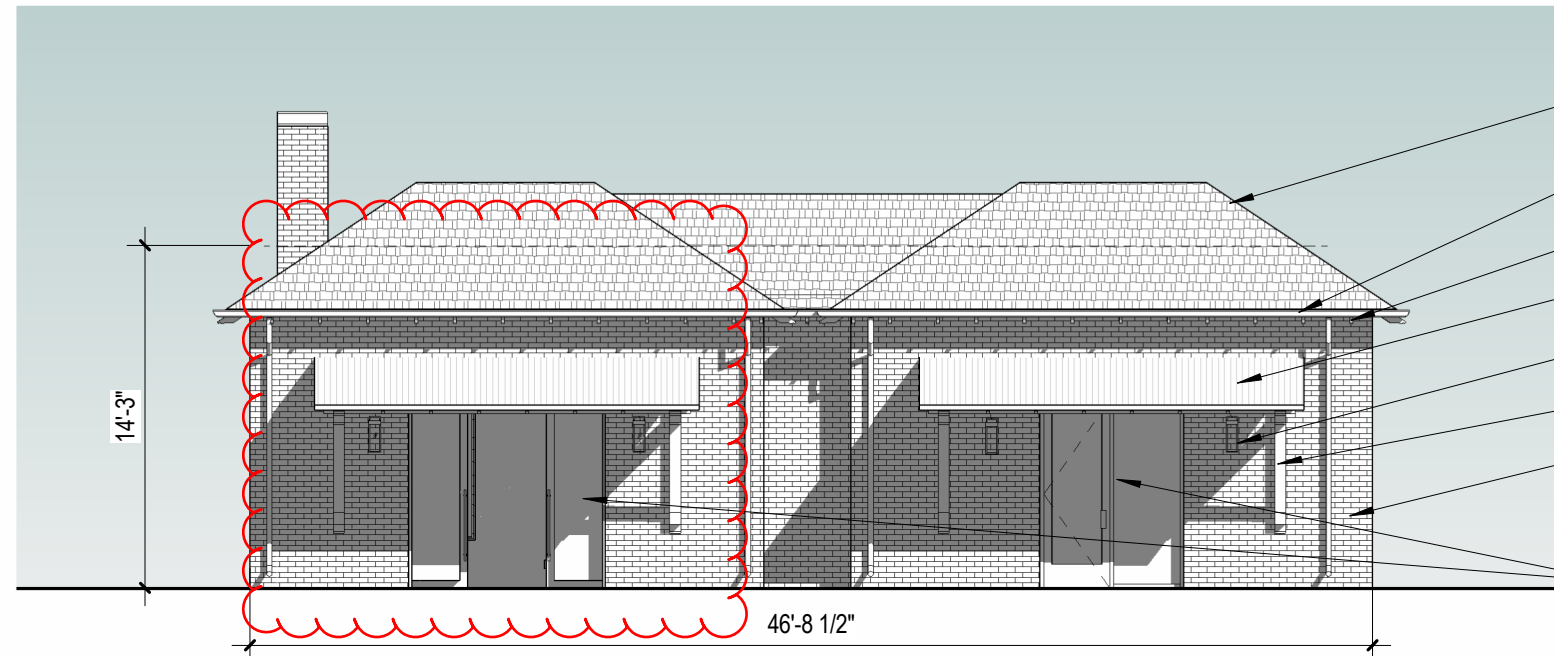
ADA UNIT - NORTH
ELEVATION

PREVIOUSLY APPROVED



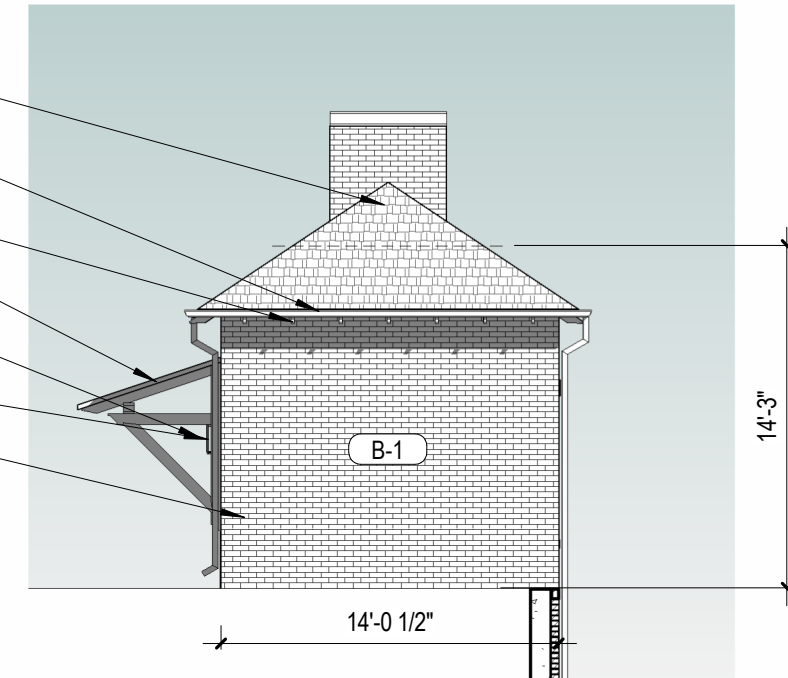
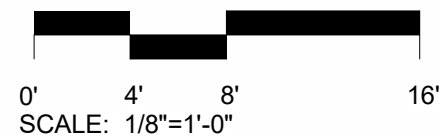
ADA UNIT - WEST
ELEVATION

PREVIOUSLY APPROVED



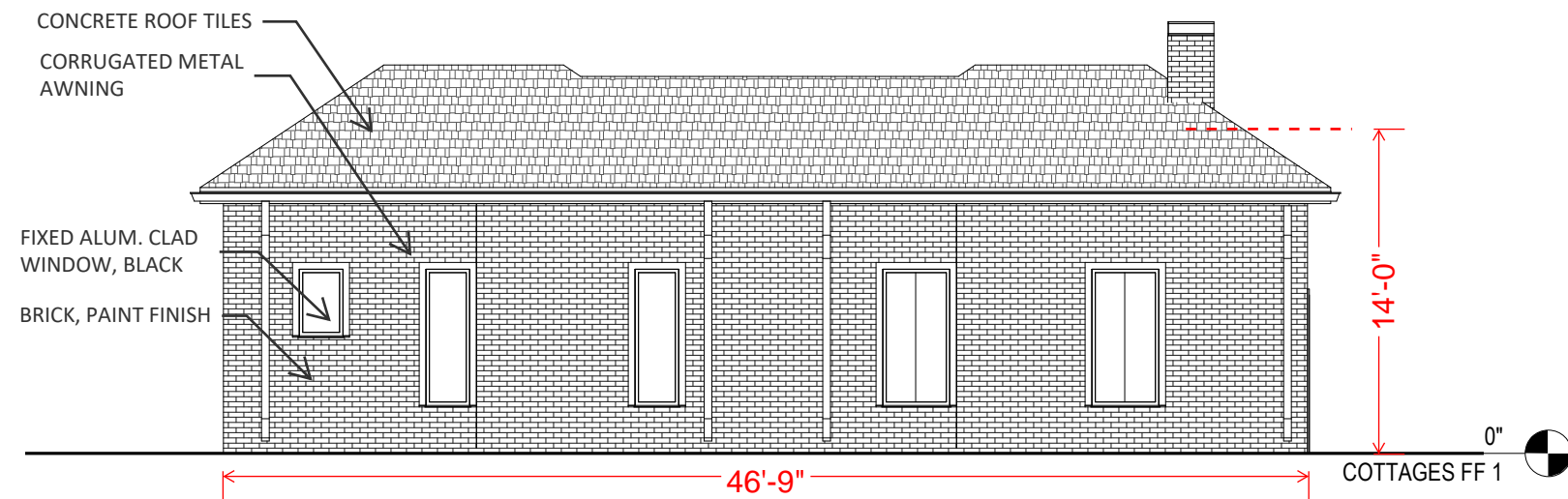
NORTH ELEVATION

- CONCRETE ROOF TILES
- COPPER GUTTERS AND DOWNSPOUTS
- WOOD RAFTER TAILS
- CORRUGATED METAL AWNING
- WALL MOUNTED GAS LANTERN
- STAINED WOOD BRACKET
- CHEROKEE BRICK BROOKHAVEN
- ALUMINIUM FRAME DOORS, BLACK

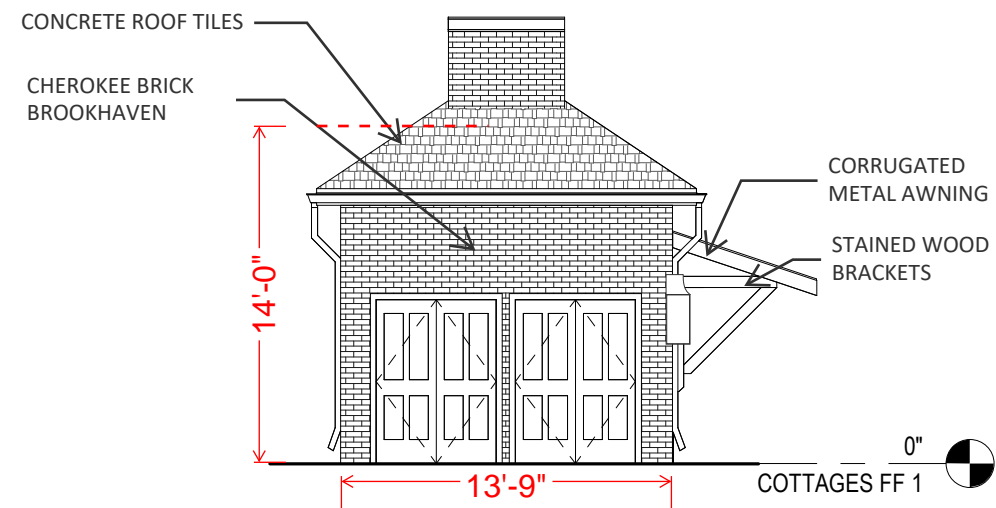


EAST ELEVATION

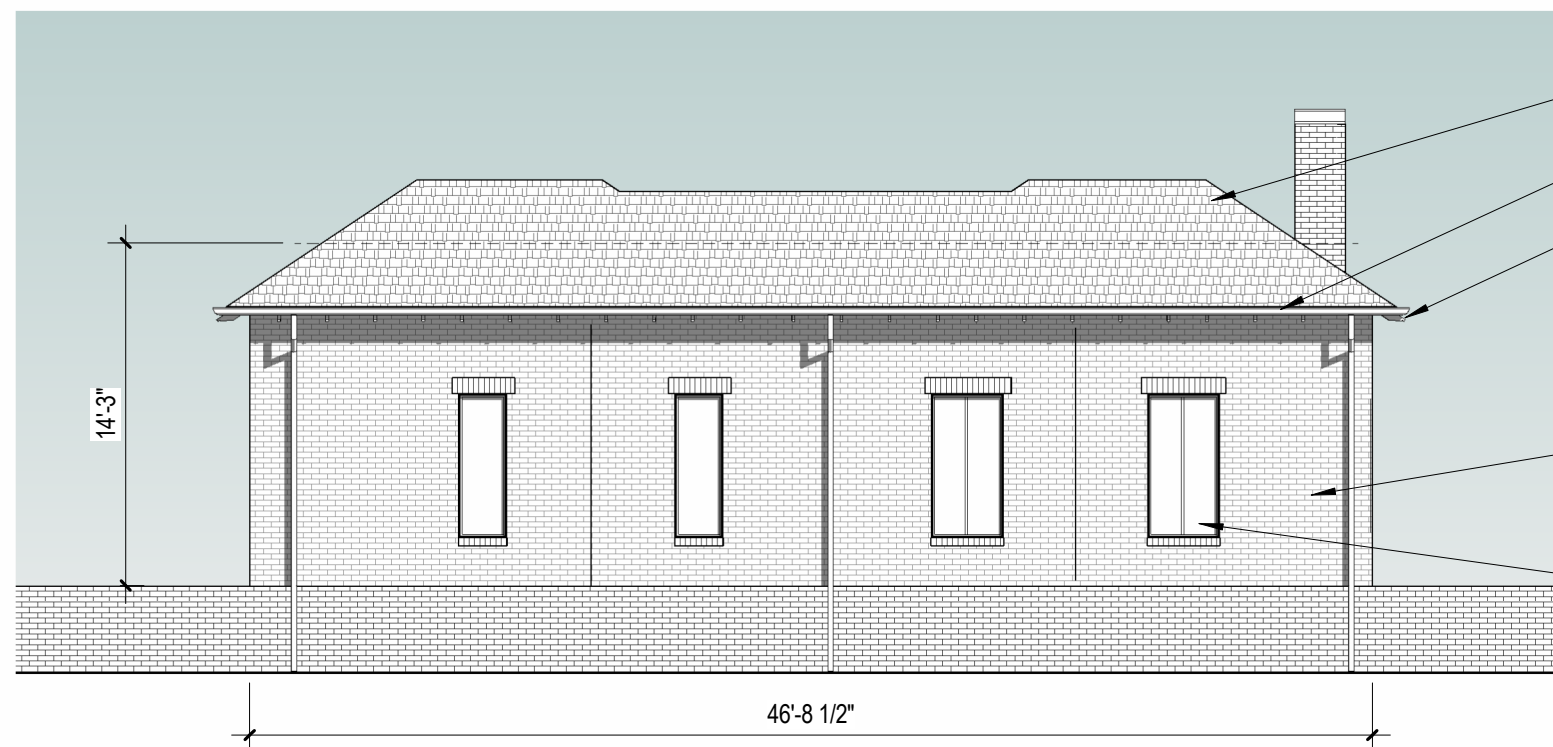
Attachment: 1076 Canton Street - Revised Restoration Plan (HPC 20252779 - 1076 Canton Street Demo)



ADA UNIT - SOUTH
ELEVATION
PREVIOUSLY APPROVED



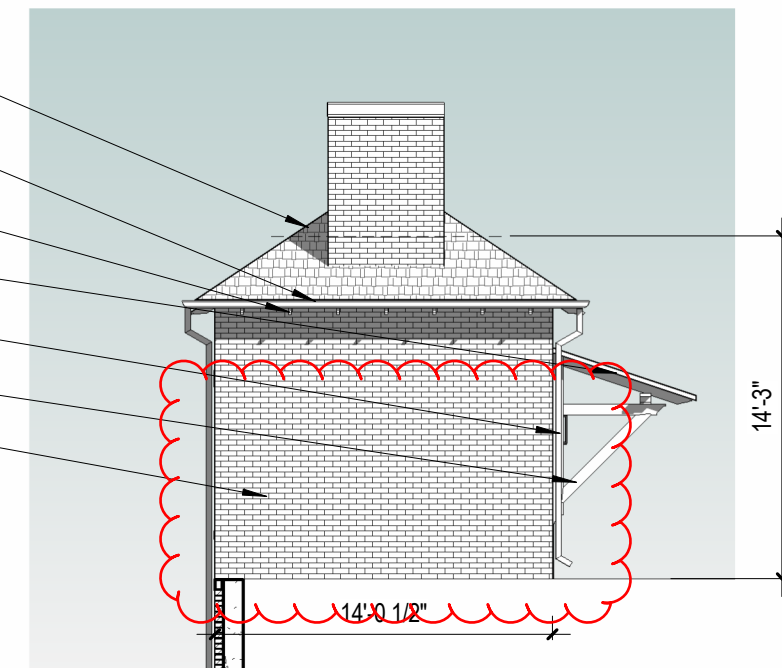
ADA UNIT - EAST
ELEVATION
PREVIOUSLY APPROVED



SOUTH ELEVATION

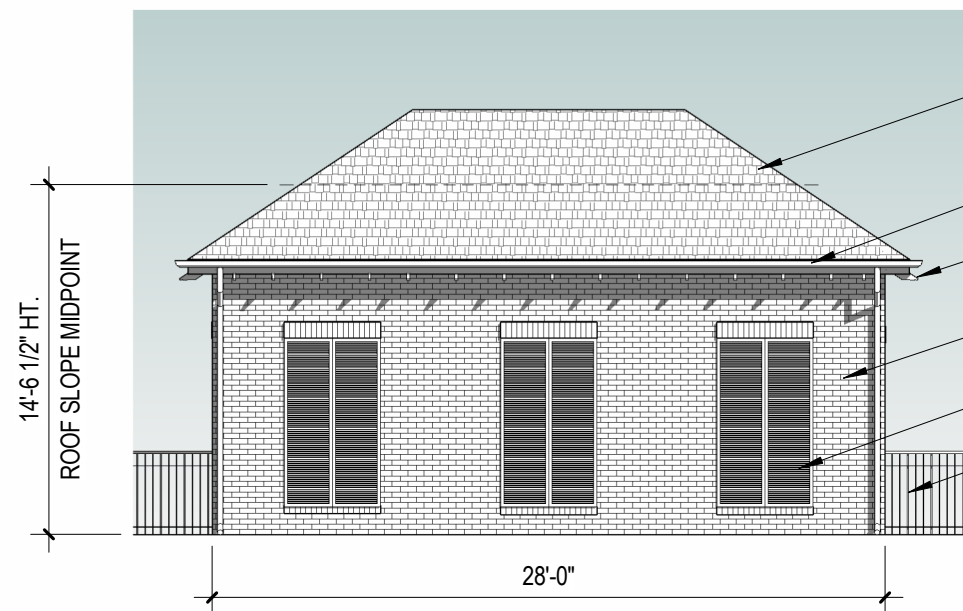
- CONCRETE ROOF TILES
- COPPER GUTTERS AND DOWNSPOUTS
- WOOD RAFTER TAILS
- CORRUGATED METAL AWNING
- WALL MOUNTED GAS LANTERN
- STAINED WOOD BRACKET
- CHEROKEE BRICK BROOKHAVEN
- ALUMINIUM FRAME DOORS, BLACK

0' 4' 8' 16'
SCALE: 1/8"=1'-0"



EAST ELEVATION

Attachment: 1076 Canton Street - Revised Restoration Plan (HPC 20252779 - 1076 Canton Street Demo)

**NORTH ELEVATION**

CONCRETE ROOF TILES

COPPER GUTTERS AND DOWNSPOUTS

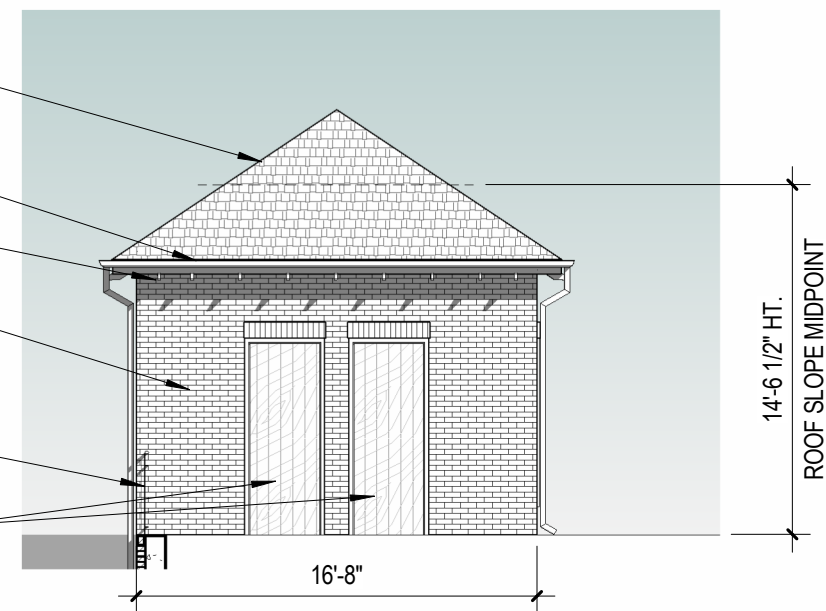
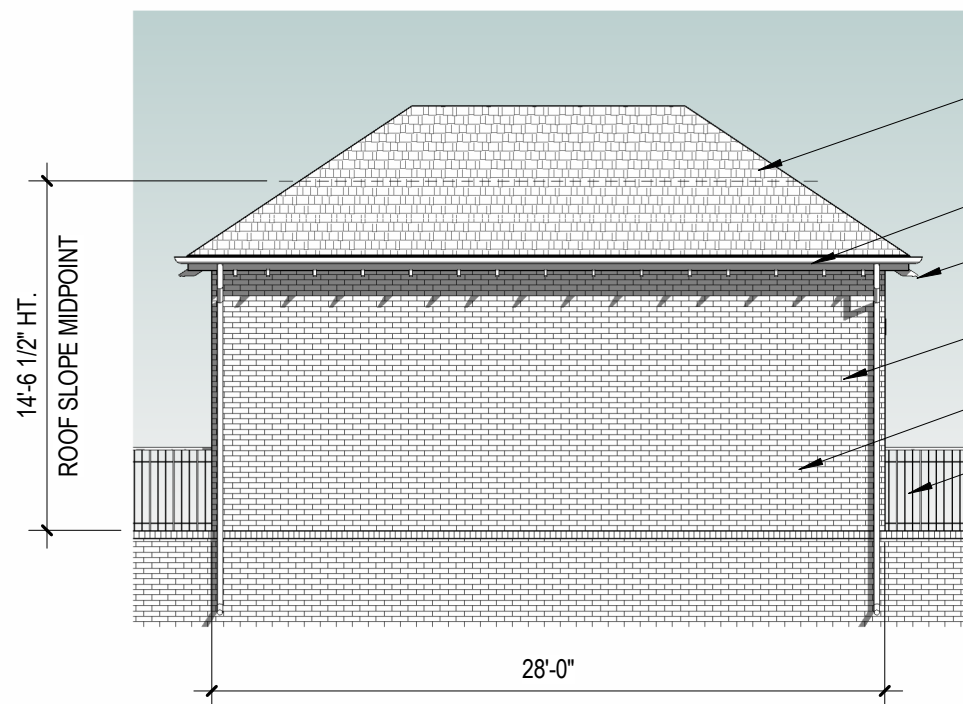
WOOD RAFTER TAILS

CHEROKEE BRICK BROOKHAVEN

SHUTTERS TO MATCH FRONT BUILDING

POWDER COATED ALUMINIUM RAILING

WOOD EXTERIOR DOORS

**EAST ELEVATION****SOUTH ELEVATION**

CONCRETE ROOF TILES

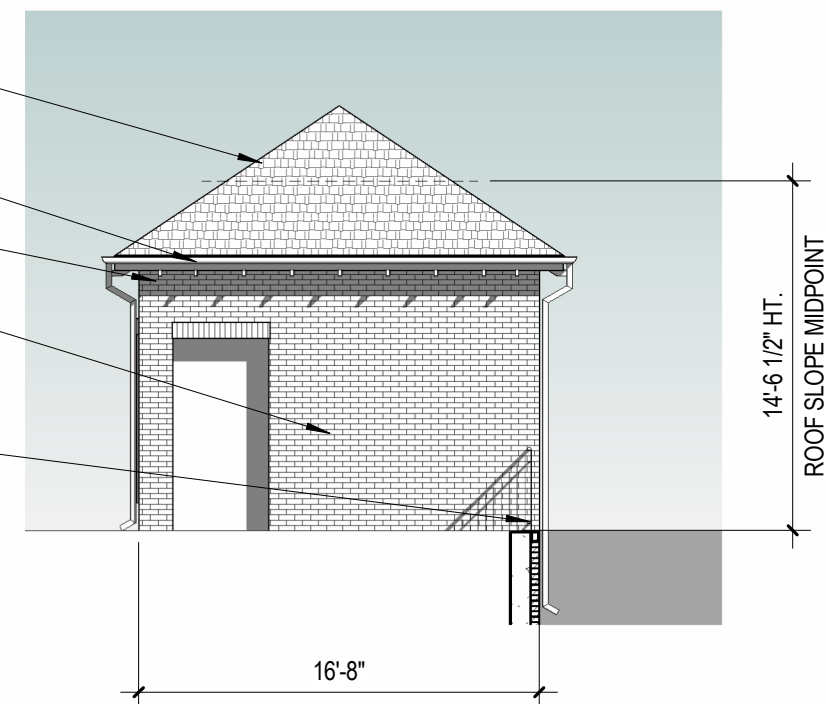
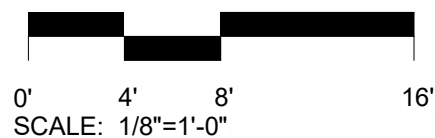
COPPER GUTTERS AND DOWNSPOUTS

WOOD RAFTER TAILS

CHEROKEE BRICK BROOKHAVEN

SHUTTERS TO MATCH FRONT BUILDING

POWDER COATED ALUMINIUM RAILING

**WEST ELEVATION**



VARICOOL CORRUGATED METAL, STREAK RUST
(COTTAGE PORCH AND BAR ROOF)



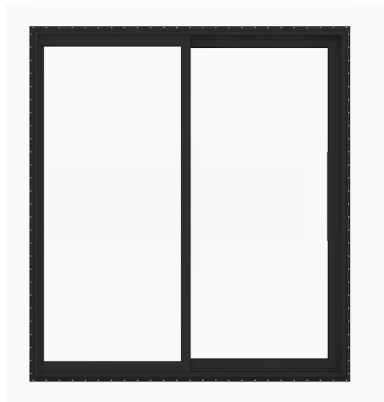
BORAL CONCRETE ROOF TILES, MADERA 900
(VINTAGEWOOD)



CHEROKEE BRICK - BROOKHAVEN



ALUM. CLAD WOOD SLIDING BIFOLD PATIO DOOR SYSTEM, MATTE BLACK



JELD WEN ALUM. CLAD WOOD
WINDOWS, MATTE BLACK
(MUNTIN SPECIFICATION BELOW)



COPPER METAL GUTTER AND DOWNSPOUT



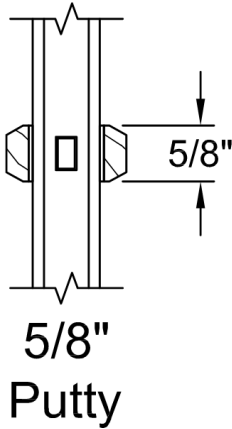
POWDER COATED ALUMINUM RAILING, BLACK



STAINED WOOD BRACKETS TO MATCH
AQUAFIR SIDING



PREFINISHED METAL COPING, BLACK



CAROLINA LANTERNS - OLD
VILLAGE WALL MOUNT GAS
LANTERN



COTTAGES MATERIAL BOARD: CURRENT AND PREVIOUSLY APPROVED

Development By Hugo-Posh Development

TEN SEVENTY-SIX

1076 CANTON STREET
ROSWELL, GA 30075

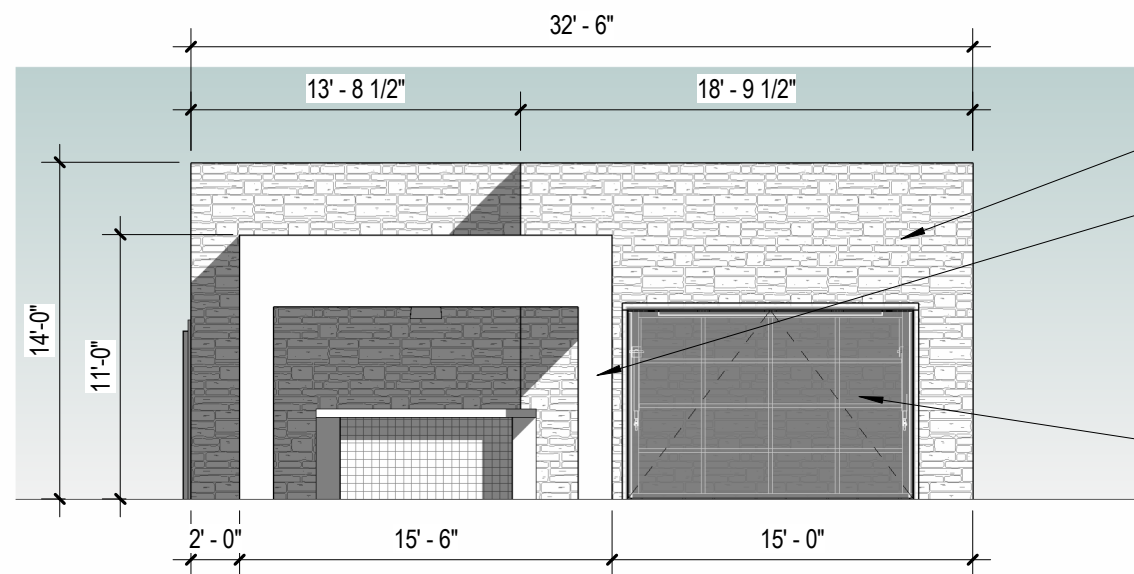
06/20/25

2021112.10



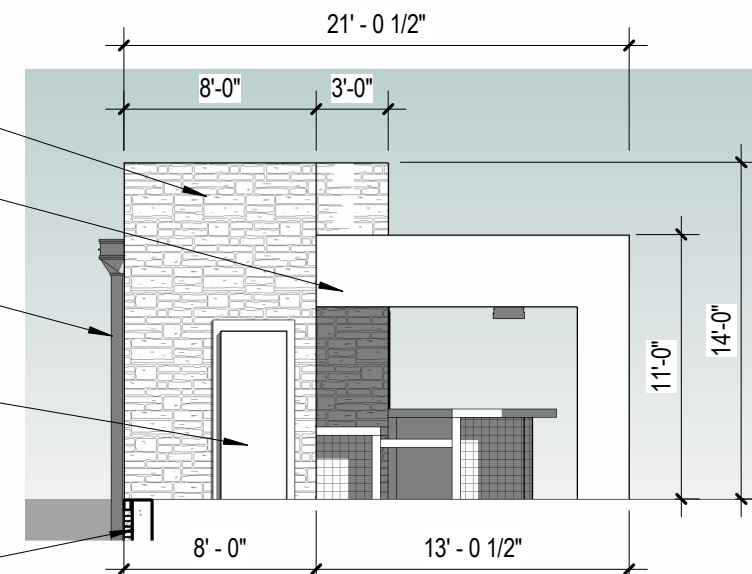
RANDAL
PAULSON

Packet Pg. 20

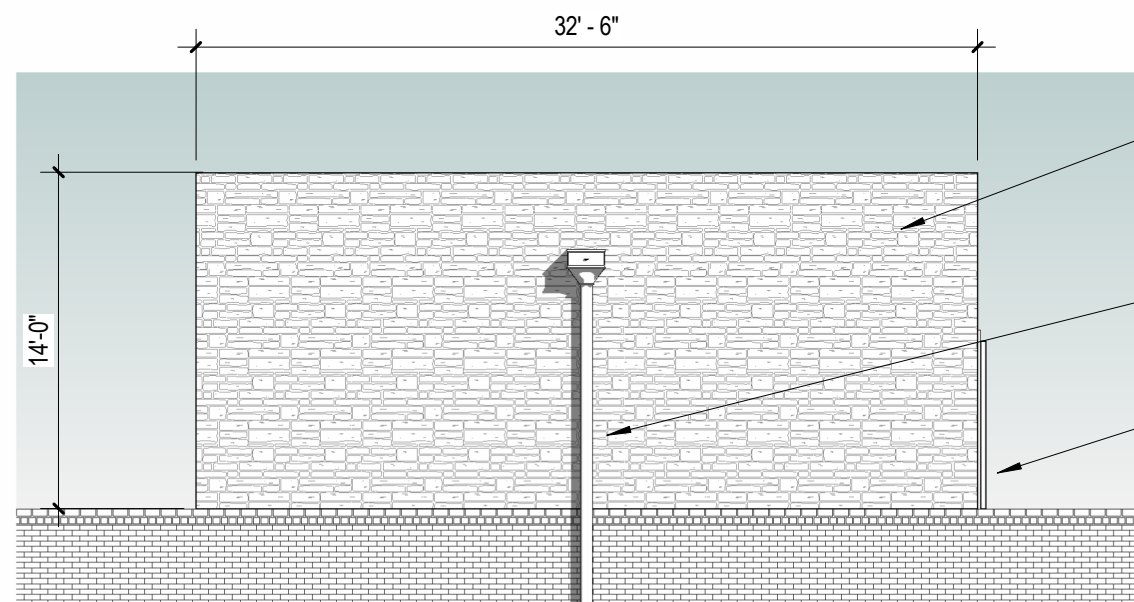


NORTH ELEVATION

- STONE FINISH, TO MATCH SPA
- ARCUS STONE LIME PLASTER FINISH, TO MATCH SPA
- COPPER SCUPPER BOX AND DOWNSPOUT TO MATCH COTTAGES
- INFITTING COOLER DOOR, TO MATCH ADJACENT FINISHES
- GLASS DOOR WITH BLACK ALUMINIUM TRIM, TO MATCH SPA
- BRICK FOUNDATION WALL, SEE CIVIL

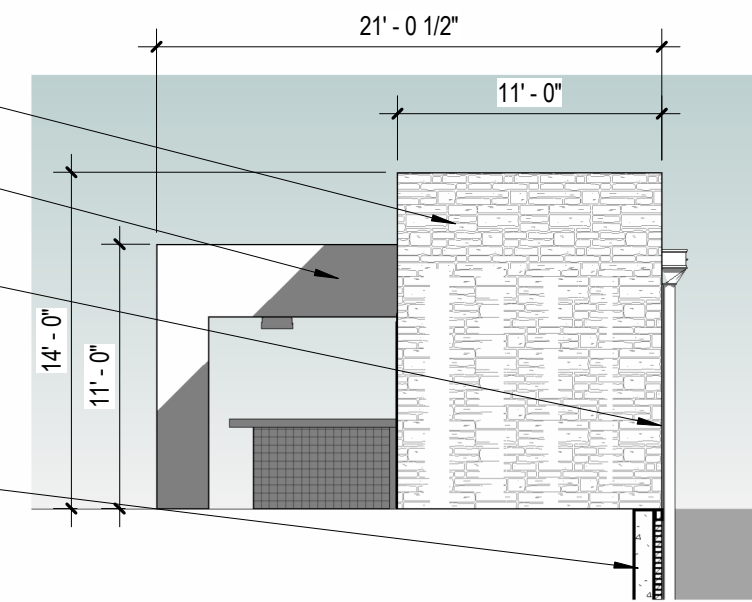


EAST ELEVATION

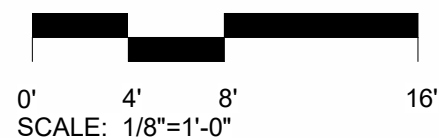


SOUTH ELEVATION

- STONE FINISH, TO MATCH SPA
- ARCUS STONE LIME PLASTER FINISH, TO MATCH SPA
- COPPER SCUPPER BOX AND DOWNSPOUT, TO MATCH COTTAGES
- INFITTING COOLER DOOR, TO MATCH ADJACENT FINISHES
- BRICK FOUNDATION WALL, SEE CIVIL



WEST ELEVATION





IRONWOOD
DESIGNGROUP

Attachment: 1076 Canton Street - Revised Restoration Plan (HPC 20252779 - 1076 Canton Street Demo)



POOL HOUSE AND CABANA AREA

Development By Hugo-Posh Development

TEN SEVENTY-SIX

1076 CANTON STREET
ROSWELL, GA 30075

06/20/25

2021112.10



RANDAL
PAULSON

Packet Pg. 22



POOL HOUSE AND CABANA AREA

Development By Hugo-Posh Development

TEN SEVENTY-SIX

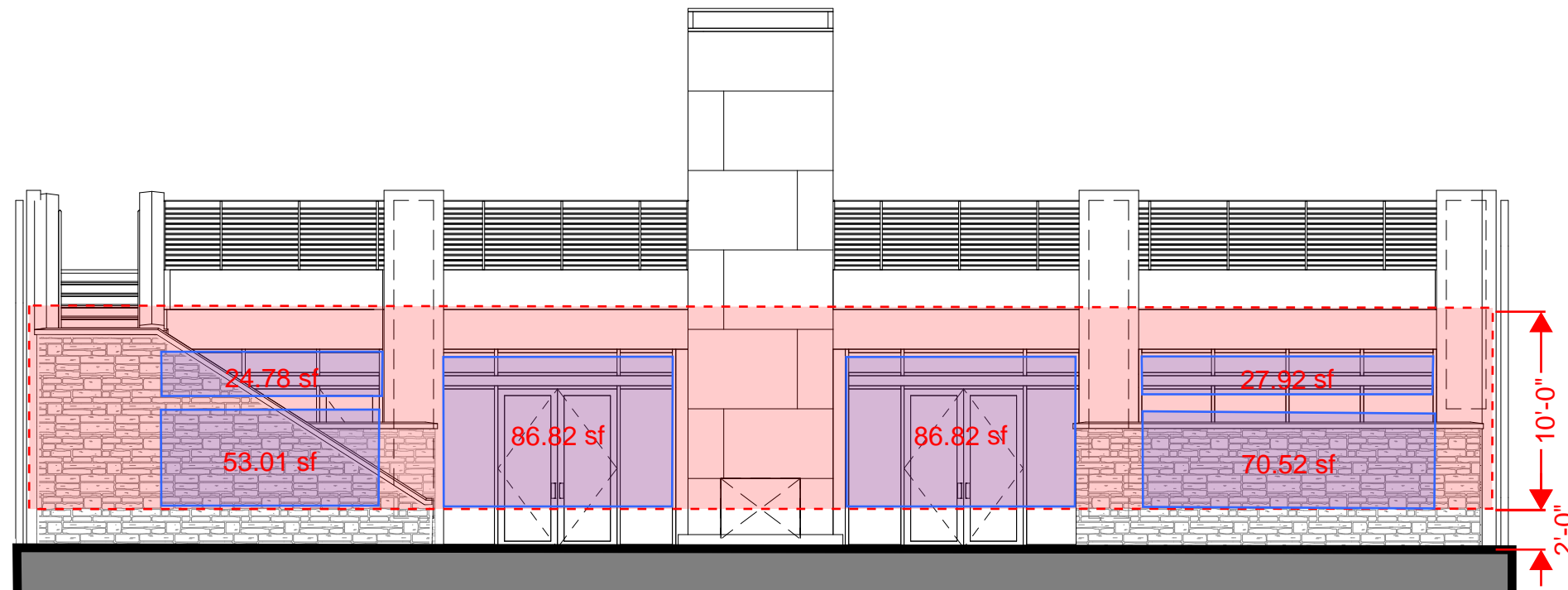
1076 CANTON STREET
ROSWELL, GA 30075

06/20/25

2021112.10

RANDAL
PAULSON

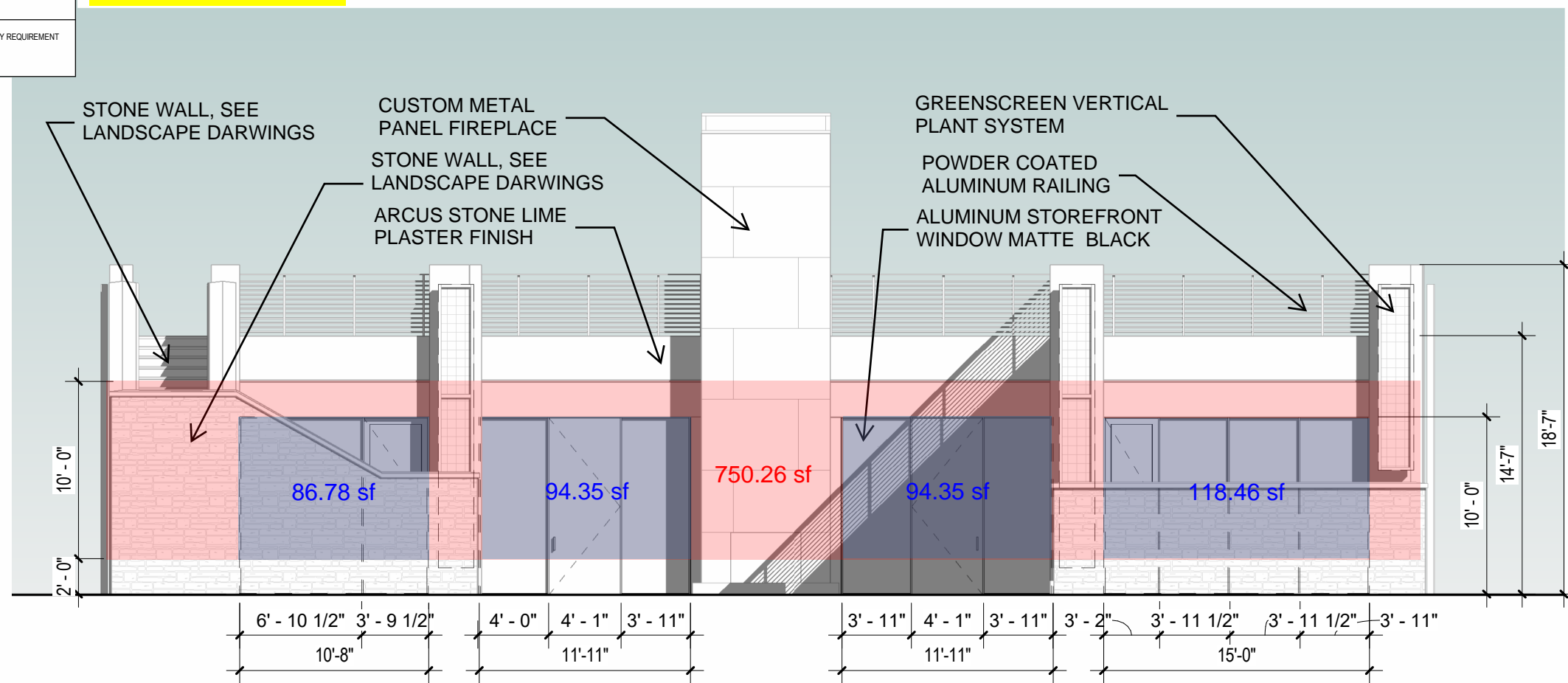
Packet Pg. 23



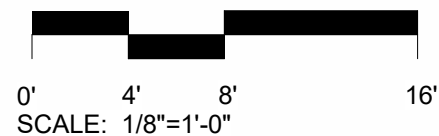
PREVIOUSLY APPROVED

LEGEND

- EXTENT OF GRADE LEVEL / UPPER LEVEL FACADE SUBJECT TO TRANSPARENCY REQUIREMENT
- WINDOW AND OPENING AREAS AT GRADE LEVEL / UPPER LEVEL



NOTE:
SPA EXTERIOR MATERIALS
AND OVERALL DESIGN
REMAIN AS PREVIOUSLY
APPROVED BY THE
HISTORICAL PRESERVATION
COMMISSION. ROOF DECK
HAS BEEN RAISED 7" AND
STOREFRONT WINDOWS
HAVE BEEN UPDATED.



TRANSPARENCY: 52%



SPA BUILDING - EAST FACADE STOREFRONT

Development By Hugo-Posh Development

TEN SEVENTY-SIX

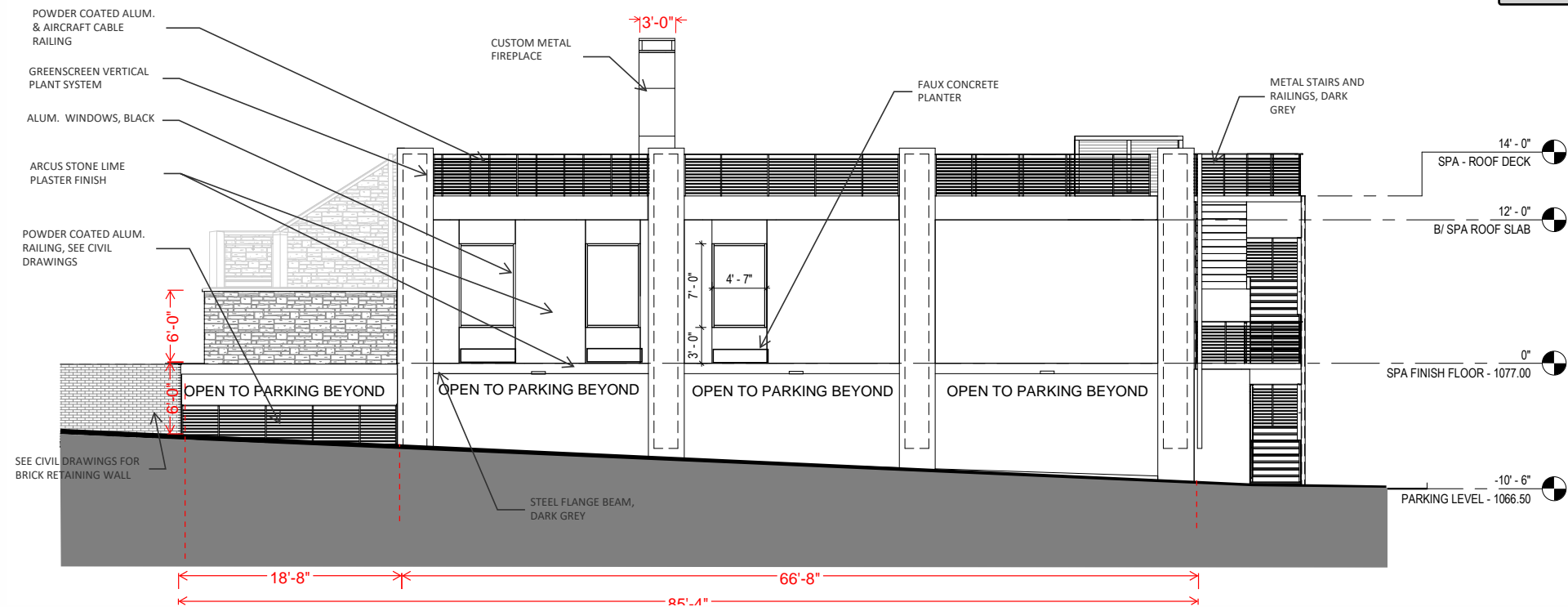
1076 CANTON STREET
ROSWELL, GA 30075

20 JUNE 2025

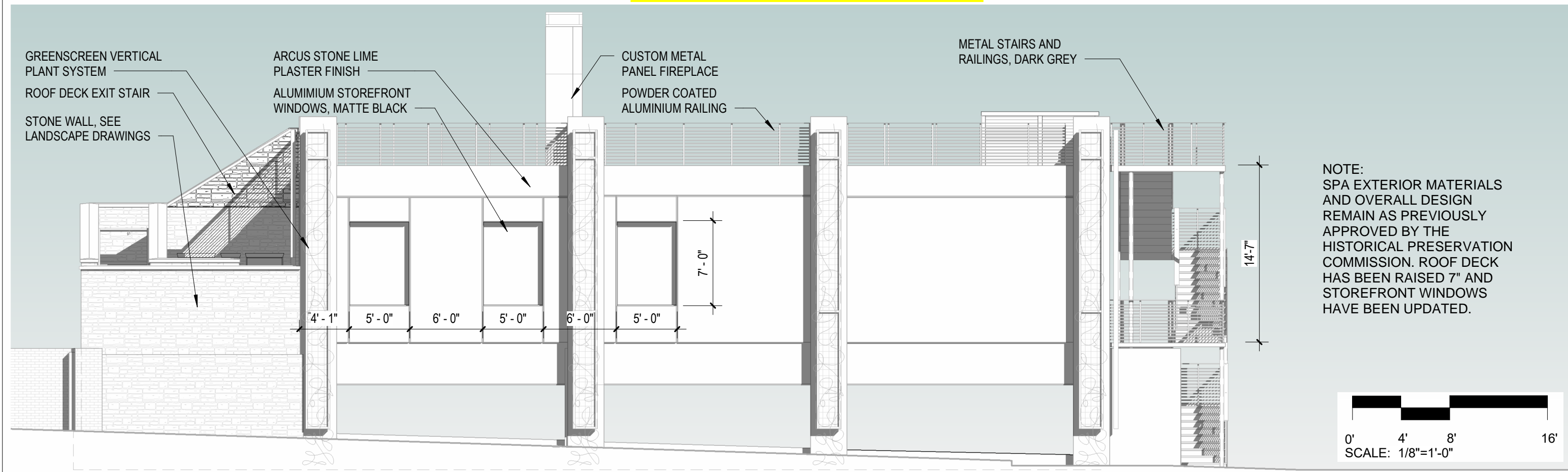
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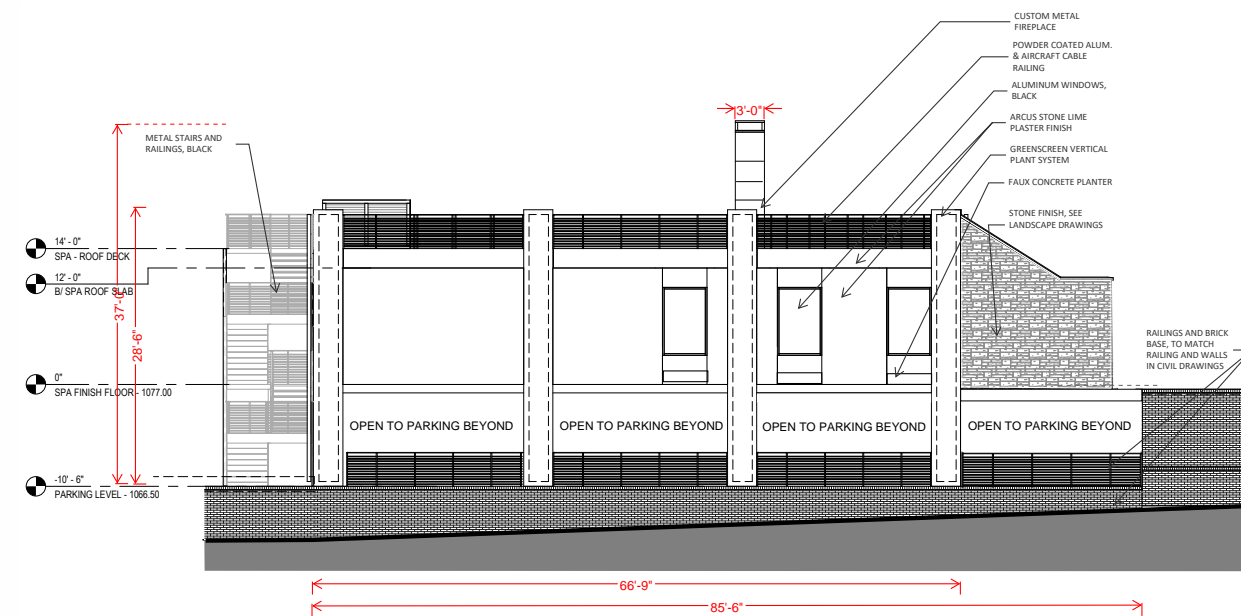


Packet Pg. 24

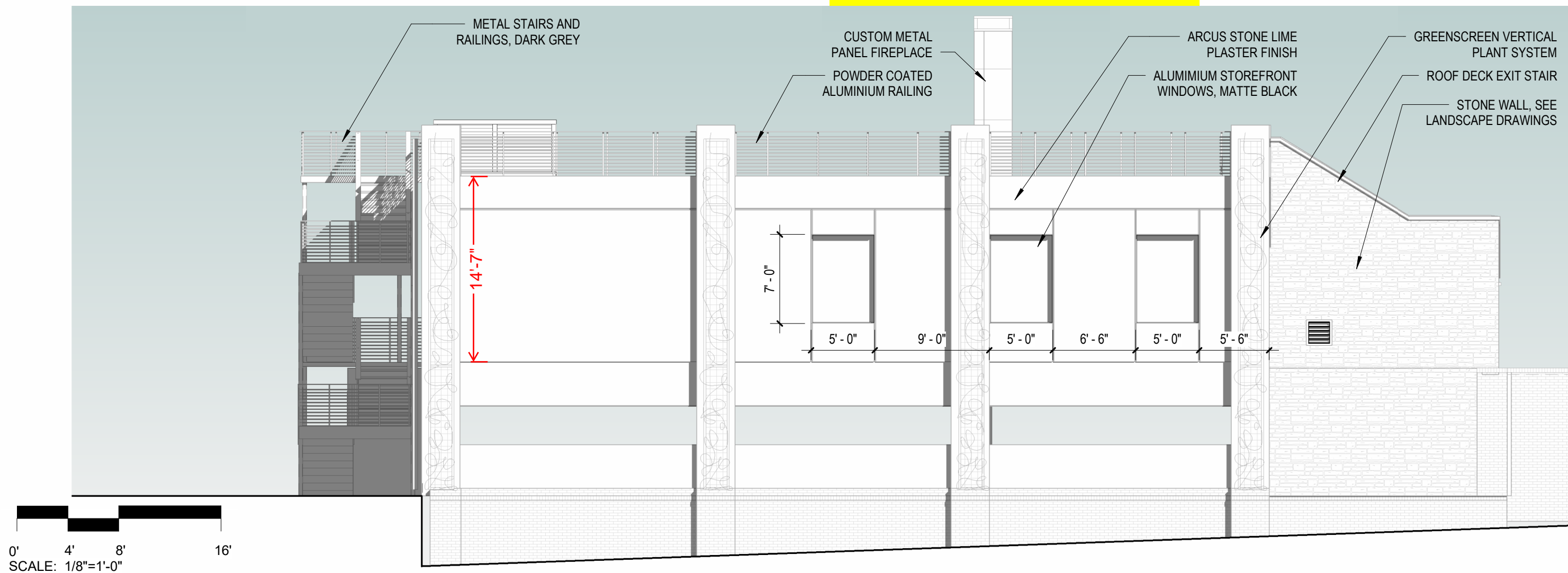


PREVIOUSLY APPROVED ELEVATION: SCALE: N.T.S.





PREVIOUSLY APPROVED ELEVATION - SCALE N.T.S.





ARCUS STONE LIME PLASTER (MEDIUM)



GREENSCREEN VERTICAL PLANT SYSTEM
COLOR BLACK



METAL + PERFORATED METAL PANEL FIREPLACE



POWDER COATED ALUMINUM LOUVER
SCREENS, CHARCOAL GREY



FAUX CONCRETE PLANTERS



POWDER COATED ALUM & AIRCRAFT CABLE RAILING



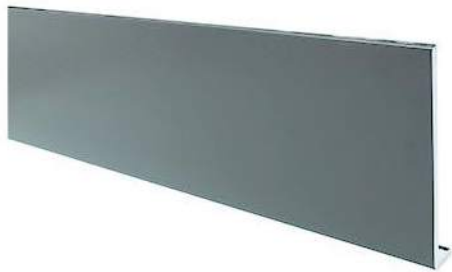
ALUM. CLAD WOOD FIXED
WINDOWS, BLACK



FIELD STONE: NEW



METAL STAIRS AND
RAILINGS, BLACK



PREFINISHED METAL FASCIA, CHARCOAL GREY



JACKSON SQUARE CHEROKEE BRICK
(RETAINING WALLS)



AMAX SQUARE SLIM DISK FLUSH
MOUNTED LIGHT, BLACK



COPPERMOON CM.820 CAST
BRASS TRIANGLE SCONCE LIGHT,
ATIQUE FINISH



20 July 2025

City of Roswell

38 Hill Street
Roswell, Georgia 30075

Re: HPC Design Plan Application – Ten Seventy Six Club revised design
Roswell, Georgia
RPA Project No. 2021112.10

The subject property is located at 1076 Canton Street, Roswell, Georgia 30075. Historically used as an event facility, the site is being redeveloped into a private club with guest cottages and a spa. The proposed project received Historic Preservation Commission (HPC) approval on August 12, 2021, with a minor revision approved on May 31, 2022. Interior demolition was subsequently approved on December 20, 2022.

During demolition, significant structural deficiencies were identified in both the original historic building and the 1990s-era addition:

Historic Structure:

A structural assessment conducted by a licensed structural engineer revealed that the original wood-frame structure suffers from extensive moisture-related deterioration. The exterior wood siding is installed directly onto the wall studs without intermediary sheathing or a weather-resistant barrier. This construction method has led to substantial moisture infiltration and long-term degradation of the exterior wall framing. In many locations, studs exhibit signs of rot, biological growth, and compromised structural capacity. Additionally, the original floor framing system was found to be inadequately supported and inconsistent with modern load-bearing standards. Lateral stability of the structure is also deficient due to the absence of proper bracing or shear-resisting elements.

Historic Roswell Mill
85-A Mill Street, Suite 200
Roswell, Georgia 30075
t 770.650.7558 f 770.650.7559

www.randallpaulson.com



1990s Addition:

The 1990s addition was constructed without sheathing, and lacks continuous load paths and structural reinforcement as required by current building codes. The framing system does not meet the minimum structural performance criteria for wall rigidity or weather resistance.

Given the comprehensive nature of the structural failures, the property owner is requesting approval for full demolition of the existing structures. Salvageable architectural elements of historical significance—such as the original wood siding, the front entry door, and brick from the chimneys and foundation—will be carefully removed and preserved for reuse in the reconstruction. The historic structure will be rebuilt to replicate its original form and appearance, incorporating current code-compliant structural design and materials. The 1990s addition will be reconstructed with a similar footprint and form, incorporating minor modifications from the previously approved design, to be submitted separately.

The proposed demolition scope includes complete removal of existing roofs, walls, floor systems, and foundations.

We believe this comprehensive reconstruction will preserve the architectural legacy of the original structure while ensuring that it meets modern structural and safety standards—ultimately enhancing the historic fabric of Roswell.

Sincerely,

Randall-Paulson Architects, Incorporated

Marcus Mello, AIA

Senior Project Architect

M:\Project Docs\2021\2021112.10\General Data\Codes and Permitting\HPC revision application\25-0620 Letter of Intent - Revised design.docx

Historic Roswell Mill
85-A Mill Street, Suite 200
Roswell, Georgia 30075
t 770.650.7558 f 770.650.7559

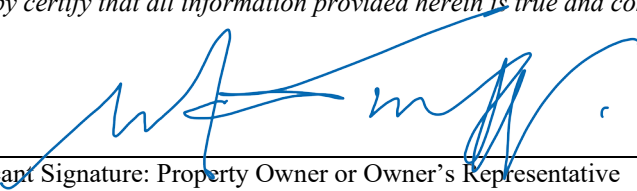
www.randallpaulson.com

APPLICATION INTAKE**In Person:** 8:00 am – 4:00 pm**By Email:** planningandzoning@roswellgov.com

2.1.c

**HISTORIC PRESERVATION COMMISSION APPLICATION**

Before submitting an application, please contact Planning and Zoning to determine if a pre-application meeting is required. Preapplication meeting date: _____

| | | | |
|---|--------------------|---|-------|
| Application Number: | | | |
| | | | |
| Type of Request: | | <input type="checkbox"/> Major <input type="checkbox"/> Administrative | |
| Estimated Cost: ____ Less Than \$50,000 ____ Greater Than \$50,000 | | | |
| PROJECT DESCRIPTION | | | |
| Name of Project: | | PIN: | |
| Project Address: | | | |
| <u>Building/ Renovation</u> ____ New Construction ____ sq. ft. ____ Renovation (No change to building footprint) ____ Building Addition ____ sq. ft. | | <u>Site Work</u> ____ Site work greater than 5000 sq. ft. ____ Site work less than 5000 sq. ft. | |
| CONTACTS | | | |
| Applicant/Representative | Name/Company Name: | | |
| | Address: | | |
| | City: | State: | Zip: |
| | Email: | Phone: | |
| Property Owner | Name/Company Name: | | |
| | Address: | | |
| | City: | State: | Zip: |
| | Email: | Phone: | |
| I hereby certify that all information provided herein is true and correct. | | | |
|  | | | |
| Applicant Signature: Property Owner or Owner's Representative | | | Date: |
| | | | |

Attachment: 1076 Canton Street - Demo Application (HPC 20252779 - 1076 Canton Street Demo)

Please refer to Section 13.7 of the Unified Development to determine if your project is categorized as an Administrative or Major Review

City of Roswell • 38 Hill Street • Suite G-30 • Roswell, Georgia 30075 • 770-817-6720 • www.roswellgov.com

Planning and Zoning Division Application • Rev 12/27/2024

Packet Pg. 30

SIGNATURE PAGE

READ CAREFULLY BEFORE SIGNING.

- I understand that failure to supply all required information (per the relevant Applicant Checklist and requirements of the *Unified Development Code*) will result in **REJECTION OF THE APPLICATION**.
- I understand that the application may not be approved if applicant plans to attend the Design Review Board meeting without required items or if the applicant presents plans that differ from submittal materials.
- I understand that I will become familiar with applicable zoning code and Design Guidelines.

I understand that failure to respond OR to submit deficient items within six months of receiving comments will result in **THE APPLICATION BEING DEEMED AS WITHDRAWN BY THE CITY**

Applicant or Representative Signature

Date

I respectfully petition that this property be considered as described in this application. Wherefore, applicant prays that the procedures incident to the presentation of this petition be taken, and the property be considered accordingly. Additionally, applicant further acknowledges and fully understand all above statement made by the City of Roswell.

I hereby certify that all information provided herein is true and correct

Property Owner Signature

Date

Address:

City:

State:

Zip:

NOTARY: Personally appeared before me the above applicant or representative named _____ who on oath says that he/she is the applicant or representative for the foregoing, and that all the above statements are true to the best of his/her knowledge

Notary Signature

Date

Date commission expires:

Attachment: 1076 Canton Street - Demo Application (HPC 20252779 - 1076 Canton Street Demo)



| ADDITIONAL CONTACTS | | |
|---------------------|--------------------|--------|
| Architect | Name/Company Name: | |
| | Email: | Phone: |
| Engineer | Name/Company Name: | |
| | Email: | Phone: |
| Landscape | Name/Company Name: | |
| | Email: | Phone: |
| Other | Name/Company Name: | |
| | Email: | Phone: |
| Other | Name/Company Name: | |
| | Email: | Phone: |

| Fee Schedule – Design Review Board | | |
|------------------------------------|--|-------|
| | Design plan review – Major (Projects > \$50,000) | \$850 |
| | Design plan review – Major (Projects <50,000) | \$500 |
| | Administrative | \$200 |

| Fee Schedule – Historic Preservation Commission | | |
|---|--|------------|
| | Major Certificate of Appropriateness (Projects > \$50,000) * + starred items below | \$850 |
| | Major Certificate of Appropriateness (Projects <50,000) *+ starred items below | \$500 |
| | Demolition*+ starred items below | \$500 |
| | Administrative | \$100 |
| | *Advertising | \$300 |
| | *Public notice signs | \$120/sign |

Attachment: 1076 Canton Street - Demo Application (HPC 20252779 - 1076 Canton Street Demo)

Please refer to Section 13.7 of the Unified Development to determine if your project is categorized as an Administrative or Major Review

DESIGN PLAN REVIEW CHECKLIST

The following application materials are required for all Major applications:
If applying for an Administrative application, please confirm with Planning and Zoning the submittal requirements – planningandzoning@roswellgov.com

1. Completed and signed/ notarized application form.
2. Letter of Intent describing the proposed scope of work.
3. Proof of a Stormwater Concept (applicant must contact Stormwater Reviewer).
4. Site plan, which must contain all site development statistics:
 - Total site area
 - Primary/side street build-to-zone and building in primary street BTZ (min % of lot width)
 - Building footprint [SF & %],
 - Gross Square Footage
 - Parking space numbers (existing, proposed, and how many are required per UDC)
 - Total impervious surface [SF & %]
 - Outdoor amenity space [SF & %]
 - Landscape open space [SF & %]
 - All required buffers
5. River corridor – MRPA information (if applicable)
6. Archeology report (UDC 12.8.3 if applicable)
7. A rendering and all four side elevations which must contain:
 - Dimensions
 - Colors and materials labelled
 - Primary and side street transparency %
 - Upper and ground floor transparency %
 - Maximum blank wall area
 - Floor-to-floor heights
 - If bulk plane is applicable, provide a detailed elevation showing the bulk plane for the proposed building(s).
8. Photographs of all four sides of existing buildings and adjacent structures
9. Drawings meeting the intent of section 10.2.8 Screening (both utility and dumpster).
10. Digital copy of material sample board for all doors, windows, paint chips, exterior façade material selections(siding, brick, roof material etc), awnings, lighting, all exterior structures such as playground equipment or pergolas, fencing, pavers, planters, or any new materials being introduced to the exterior of the building or on the site.
11. Landscape plan(s) and tree survey(s) which must contain all landscape development information (planting list with common name, current & proposed tree density units, buffers and landscape strips, and proposed tree removal).
12. Provide justification for removal of specimen trees in accordance with section 12.1.3, letter B, #1
13. Topographical survey of the property.
14. Proposed grading plan.
15. If there are proposed retaining walls, please
 - Provide information on a grading plan indicating the top of the wall and the bottom of wall(s);
 - Provide an example of the material for the proposed wall(s); and
 - A profile and cross-section of the proposed wall(s).
16. Photometric Plan.
17. Steep slopes analysis and traffic impact study if required (applicant must contact City Engineer and RDOT). If required, this analysis and study must be submitted prior to the application submittal.
18. **Digital copy of all required documentation.**
19. **Application fees must be paid before application can be reviewed. (see fee schedule)**



****ALL APPLICATIONS MUST BE REVIEWED AND APPROVED BY ALL CITY DEPARTMENTS BEFORE BEING ADVERTISED AND PLACED ON AN AGENDA ****

- Historic Preservation Commission meetings are held in City Hall Council Chambers at 6:00 PM on the 2nd Wednesday of each month.

2025 HISTORIC PRESERVATION COMMISSION MEETING DATES

Wednesday, January 8, 2025

Wednesday, February 12, 2025

Wednesday, March 12, 2025

Wednesday, April 9, 2025

Wednesday, May 14, 2025

Wednesday, June 11, 2025

Wednesday, July 9, 2025

Wednesday, August 13, 2025

Wednesday, September 10, 2025

Wednesday, October 8, 2024

Wednesday, November 12, 2025

Wednesday, December 10, 2025

Attachment: 1076 Canton Street - Demo Application (HPC 20252779 - 1076 Canton Street Demo)



June 7, 2025

Randall Paulson Architects
85 A Mill Street, Suite 200
Roswell, GA 30075
Attention: **Marcus Mello, AIA**

Subject: 1076 Canton St, Roswell, GA 30075
Structural Assessment

Dear Marcus:

This correspondence is intended to summarize my observations and recommendations relative to my June 6, 2025 visit to the site with you.

The purpose of this site visit was to conduct a visual assessment of the historic portion of the subject property following interior demolition activities. The area of focus was the original rectangular structure, approximately 20 feet by 46 feet in plan, located closest to Canton Street. Reported concerns included foundation instability, termite damage, missing sheathing, and insufficient roof support.

Atlanta

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Las Vegas

Orange County

Phoenix

Salt Lake City

My observations were limited to what was visible. All of the interior drywall, insulation, plumbing and electrical systems had been removed. The exterior siding remained in place. The crawl space was partially visible from small holes cut into the floor and from access holes in an adjacent building foundation.

The building in question was reportedly built about 1880. The foundation appeared to include at least three types: stone with mortar, brick, and retrofit surface blocks. The walls were constructed with wood 2x4 wood studs (actual dimension of 2"x4") spaced at 24" o.c. There was a 4x8 (actual dimension of 4"x8") wood beam around the perimeter of the house at the floor and a 4x6 (actual dimension of 4"x6") wood beam around the perimeter of the house at the roof. The floor was framed with 2x8 joists (actual dimension of 2"x8") and the roof was framed with 2x4 rafters (actual dimension of 2"x4") spaced at 24" o.c.. The floors and roof are covered with wood planks. The exterior walls are covered with wood siding.

The following items were noticed during my visual observation:

Framing

There are several locations throughout the structure where the framing is damaged from termites, water exposure, and fire. In Photo 1, the 4x4 corner post has been completely damaged by termites and is exposed to the exterior elements. All termite damaged framing will need to be replaced. In Photo 2, the 4x8 beam at the floor level is completely missing due to rot. This occurs at a bearing point for the studs. This rotted beam needs to be replaced. In Photo 3, the siding has completely rotted and there is a hole to the exterior of the building. All damaged siding needs to be replaced. In Photo 4, there has been a fire in the building in the past. The charred wood should be further investigated and repaired as needed.

In Photos 5, 8 and 9, the framing around the opening does not meet current code requirements. New framing will need to be added to support the gravity and wind loads on the windows.

The building does not have shear walls or moisture protection. In talking with the architect, in order to provide moisture protection, all of the exterior siding would need to be removed, the exterior walls would be sheathed with plywood, the moisture protection would be added to the

303 Perimeter Center
North
Suite 300-8887
Atlanta, GA 30346

470.837.9838
GA@wrightengineers.com

wrightengineers.com

Attachment: 1076 Canton Street - Structural Engineer's Assessment (HPC 20252779 - 1076 Canton Street Demo)

building and then the siding would be replaced. Additionally, it is anticipated that the front entry porch will be removed as part of the renovation. We anticipate finding more structural concerns when the siding and porch are removed.

We have run calculations for the roof and floor framing. Both framing systems are significantly undersized for current code requirements. Both the floor and the roof would need to be re-framed or significantly strengthened.

While all of the framing repairs are being done, the building will need to be shored.

Differential Settlement and Foundations

The building is showing significant signs of differential settlement. The elevation of the perimeter walls varies by several inches throughout the structure. In Photo 5, the left side of the window has dropped about 1" in just the width of the window. Additionally, in the same photo, the right side of the fireplace has dropped in elevation. In Photo 6, the differential settlement has caused the splice in the top beam to separate. In Photo 7, there is an elevation difference of the ridge line just to the left of the chimney. In Photo 8, there is noticeable elevation difference across the width of the window and a corresponding elevation difference of the beam at the floor line. In Photo 9, the elevation difference of the 4x8 beam along the floor line is evident.

Nearly all walls were experiencing significant differential settlement issues. Additionally, since the framing floor and roof framing generally span from exterior wall to exterior wall, the floors are not level and are uneven.

In our investigation of the differential settlement concerns with the building, we began looking at the foundations. The foundations appeared to be constructed with three different methods. A majority of the foundation was stone with mortar (see Photos 10 and 11). There were a few brick foundations (See Photos 12 and 13). In Photo 13, the brick pier has a significant crack and appears to be leaning out of plane. This pier needs to be repaired. In Photo 14, the brick at the bottom of the chimney is crumbling and needs to be repaired. In the past, the 1st level floor was supported by new wood framing bearing on concrete blocks placed on top of the existing soil (See Photo 15). In our observations, we did not see any anchors attaching the wood framing to the foundation system.

It is clear that the building has been experiencing differential settlement concerns for many years. It appears that at some point, an attempt was made to add supports for the floors to help resolve the concerns. Ultimately, the foundation is in need of significant repairs.

In order to correct differential settlement issue, it has been our experience that helical piers or hydraulically driven piers would need to be installed around the perimeter of the building and at interior bearing locations to support the building and to level the building. It has also been our experience that often times, the stone foundations are not adequate to span between the piers. This would mean that the building would need to be shored, the existing foundations removed, new foundations and piers (if necessary) would be installed and then the building could be anchored to the new foundation.

Conclusion

Based on my visual observations, the building is experiencing widespread and severe structural degradation, including differential settlement, framing failures, and code-deficient systems. These issues appear systemic rather than localized and raise significant concerns about the long-term viability and safety of the structure.

Due to the extent of structural damage, foundation instability, and the fact that the structure does not meet modern code requirements, rehabilitating the building to meet both safety and

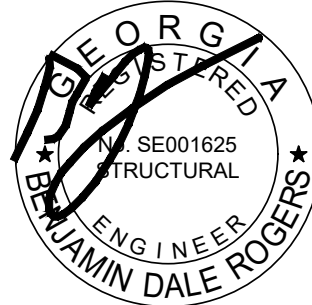
performance standards would require extensive reconstruction—potentially rivaling or exceeding the cost of replacement.

Thank you for the opportunity to be of service. Please contact me at my office should you have any questions or comments regarding the above.

Best regards,

WRIGHT ENGINEERS


Ben Rogers, PE, SE
Vice President



06/11/2025

Attachment: 1076 Canton Street - Structural Engineer's Assessment (HPC 20252779 - 1076 Canton Street Demo)



Photo 1: Termite Damaged 4x4 Post



Photo 2: Rotten 4x8 Beams



Photo 3: Rotten Siding



Photo 4: Fire Damage



Photo 5: Differential Building Settlement



Photo 6: Differential Building Settlement



Photo 7: Differential Building Settlement



Photo 8: Differential Building Settlement



Photo 9: Differential Building Settlement



Photo 10: Stone with Mortar Foundation



Photo 11: Stone with Mortar Foundation



Photo 12: Brick Foundation Adjacent to Stone with Mortar Foundation



Photo 13: Brick Pier with Significant Crack



Photo 14: Brick at Bottom of Chimney



Photo 15: Retrofit Concrete Blocks Bearing on the Soil



PETITION HPC20252779 *with revised plans*

Updated staff comments in red

Application Information

| | |
|-----------------|---|
| Address: | 1076 Canton Street |
| Applicant: | Marcus Mello |
| Request: | Certificate of Appropriateness for the partial demolition for the restoration of an existing historic structure. |
| Classification: | Historic on the 2003 historic properties map |
| 2018 Survey: | Historic-portion of the primary structure built <i>circa</i> 1870 |
| Zoning: | DH (Downtown House) |

Applicable Guidelines

| |
|---|
| UDC Design Guidelines 5.1: Preserve original building materials |
| UDC Design Guidelines 5.2: Repair original building materials, when needed |
| UDC Design Guidelines 5.3: Replace original building materials in kind, if repair is not feasible |

Recommendation

Staff recommends **approval with conditions** of this application.

Staff recommends the following conditions:

1. The applicants must submit a detailed engineering report to the Chief Building Official, Planning & Zoning Director, and Historic District Planner confirming that the building can withstand the scope of work;
2. The building must be inspected by the Chief Building Official to demonstrate that the historic-portion of the building can withstand a restoration that will include the removal and replacement of materials;
3. The applicant must adhere to any and all shoring and phasing requirements issued by the Chief Building Official;
4. Any original historic materials (all materials that have a reasonable chance of having been installed prior to 1975), that are not rotten, broken, or otherwise damaged beyond repair, **are to be placed back on the structure in their original location; and,**
5. Applicants must provide a **written inventory to the Planning & Zoning Director** of materials **to be reused.**

Attachment: 1076 Canton Street Demo_Staff Report_REVISED FINAL (HPC 20252779 - 1076 Canton Street Demo)

Staff Comments

Overview:

In the August 29, 2025 submission, the applicants are proposing to restore the existing structure at 1076 Canton Street, maintaining the chimneys in their place, and adhering to a phased partial demolition and restoration process assisted with the City of Roswell's Chief Building Official, in order to maintain both the safety of the structure and the historical character of the building, in general.

The applicants' original plans were submitted in June 2025 and plan reviews were completed in July 2025. The original plans were heard before HPC at the August 2025 meeting and deferred, with applicant's consent. The applicants worked with Staff to submit revised plans following HPC's comments, choosing to restore the building instead of full demolish and rebuild.

Property History:

c.1870: The main two-story I-house portion of the existing structure is built as a single-family residence. According to conflicting sources, the home may have been built (or later owned) by Roswell's first veterinarian. The 1973 Roswell Historic Area Study suggests that the house was built c.1872.

c.1880-1890: A rear addition is added to the building; this addition can be seen in the 1911 Sanborn map of Roswell. It does not appear this addition is still existing on the current structure.

1909: The home is purchased by Bascomb Chalmers Ball, a prominent grocery merchant on Canton Street, and begins to be occupied by himself, along with his wife, Lizzie Ball (*née* Gunter), and their three children, Otis, Lillian, and Cora.

According to Roswell: A Pictorial History, as well as the 1930 U.S. Census, Cora grew up to become a clerk at the Citizens Bank on Elizabeth Way, and later a stenographer. Otis grew up to become a clerk at the H.I. Weave and Company general store.

The Ball Family may be descended from Willis Ball, who designed Barrington Hall and Roswell Presbyterian Church's Historic Sanctuary, as well as contributed to the design of Bulloch Hall. The family may also be related to Hazel Ball, who co-founded the first public library in Roswell in 1947. These connections could not be confirmed at this time.

The Gunter Family of Lizzie Ball's relations were among those who designed and built the first Methodist church in Roswell, according to archivist Jeanne-Marie Roberts of the Roswell Historical Society

The house itself comes to be referred to as "The Ball House." Some sources, such as the 1973 Roswell History Area Study, suggests that the home was referred to as "Ball Place."

c.1938: At least three outbuildings are built towards the rear of the property, as found on historical aerial photographs, including some structures with similar footprint sizes of the primary house itself.

c.1960: One of the outbuildings, the furthest to the rear of the property, is presumably demolished and stops showing up on historical aerials

c.1960s: An addition is known to have been added to the home; it is unclear if this addition is on the existing structure.

c.1972: Remainder of rear outbuildings are presumably demolished and no longer clearly appear on aerial photographs.

1981: The Ball Family, specifically Cora Ball, sells the home. The family occupied the residence for a confirmed 72 years.

The house becomes adaptively reused as office space in the same year. A parking lot is added to the rear of the building, to accommodate the office space, without altering the street-facing character of the property.

1985: The house is sold to a developer, Zachary Henderson. A rezoning is applied for and approved by Mayor and Council, changing the zoning from an office-type zoning to a commercial-type zoning (RZ85-53). Henderson claims at this time that the house was constructed by Cora Ball's grandfather, presumably a member of the Ball Family, Staff have not been able to verify that to be the case.

At the time, Henderson states the building is intended to be sold to a Roswell couple for use as a

restaurant.

A rear and side addition are added to the current structure.

1988: The house is included in an expansion of the Historic District (HPC 87-11; RZ88-16).

1995: The house is sold to Karl Boegner; Henderson remains a leading part of many later projects with the house.

1996 February 8: The house is approved by HPC to begin renovations to become a 125-person public events space, with 47 parking spaces, to be known as “Founder’s Hall” (HPC 96-02).

A zoning variance is reportedly granted on the same day, but no record of a variance approved on this date was found by Staff as of writing.

1996 February – April: The rear of the property was clear cut to expand parking to 100 standard spaces (or ~200 spaces valet parked), more than doubling the 47 spaces in then approved site plans.

Developer’s newsletter states that the building is attempting to be capable of 500 attendees, more than double the 125 in then approved plans.

Neighbors and the Historic Neighborhood Preservation Society begins public opposition to the Founder’s Hall project. In addition to claiming that development was out-of-scope with what was approved by HPC, neighbors claim that some HPC members acted while having a conflict-of-interest, failed to issue a Certificate of Appropriateness, and approved the application without a public hearing. The approval is appealed to Mayor & Council. The appellants are represented by Jere Wood, who later became Mayor of Roswell.

1996 March 25: Boegner, in a letter given to the City and agreed upon by Wood, agrees to replant part of the vegetated buffer on the property.

1996 April 15: Mayor & Council affirm in a public meeting that the house can be used for public event space under the zoning classifications of the time. Henderson, reportedly acting as architect for the project, spoke before Mayor & Council.

1996 June 21: A Certificate of Appropriateness is issued for HPC 96-02.

c.1996: The original less-than-full-height entry porch is replaced with a full-façade porch, meant to be, in the words of Henderson, “reminiscent of traditional plantation architecture.” As the structure was built in c.1870, during the Reconstruction period, the home likely could never have been used as a plantation home.

2005: BZA reviews a variance request to reduce a 40-foot buffer along the north of the property to 10 feet and increase the maximum allowable floor area ratio (FAR) from 0.5 to 0.564 (BZA 05-23). The variance request is withdrawn. The requirements associated with this variance request are no longer in place.

2007: BZA reviews a variance request to reduce a 40-foot buffer along the north of the property, this variance appears to have been withdrawn (BZA 07-33); HPC approves a white lattice screening fence, black metal lighting posts, and a gazebo (HPC 07-50)

2021: HPC approves redevelopment of the site as a private club/hotel, including the addition of ten guest cottages, a pool, spa, small parking deck, and the removal of non-historic porches on the primary structure (HPC 20212669)

2022: HPC Staff approves minor changes to the proposed siding, windows, and doors (HPC 20222009).

2023: An HPC administrative application is filed for a dumpster enclosure but expires due to missed payment surpassing a year (HPC 20231848).

2025 June: The current two HPC applications are submitted to the City.

Site Plan:

The property includes a 9,558 square foot two-story historical structure, with non-historic rear and side additions, sitting on 1.73 acres of land. The building also includes a basement below the non-historic additions. The existing building has a front and rear porch, both of which are non-historic and have previously been approved by HPC for demolition (HPC 20212669).

This approval by HPC (HPC 20212669) includes the addition of 10 guest cottages, a spa building, pool, cabana bar, gardens, and a small parking deck built on the rear of the property.

Architecture:

Ball House/Founder's Hall (1076 Canton Street) is a primarily wood-sided, side-gabled, I-house style home. It has two flanking brick chimneys that protrude from the form of the house on the north and south sides. The home has non-historic side and rear additions, added in 1996, which match the material appearance of the historic core of the house. A portion of the house past the initial I-house core are historical additions.

The existing building is a prime example of Greek Revival architecture in an I-House style of home. The home was originally built as a less-than-full-height-entry variant of Greek Revival structure. However, renovations to the front porch in c.1996 included the addition of a full-façade porch. The applicants have previously received HPC approval to return the porch to a historically appropriate architectural design. The roofing on the historic core of the building is side-gabled, while the roofing on the non-historic additions is partially simple-hipped and partially side-gabled.

1076 Canton Street is a relatively unique architectural style and build, while being a Reconstruction-era construction. Related examples are often, Antebellum.

The building includes a front door with a full transom window and sidelights, a common element of Greek Revival structures. However, the front door, in its current appearance, does not include a door surround and lintel. This is not entirely unheard of, Bulloch and Barrington Halls, both also examples of Greek Revival homes, also have simpler door surrounds and lintels.

The currently existing front porch has four imposing Doric square columns. While these specific columns are non-historic additions that date to the new porch's construction, the home has always had Doric square columns, just less significant in size.

The house has a present cornice line on its own, but the non-historic front porch makes it more distinctive. The cornice line includes cornice returns on the core historical portion of the house.

Ball House/Founder's Hall share similarities in architecture with a few other examples in the Historic District. Perhaps the closest example of this is 1002 Canton Street, built c.1900. 1002 Canton Street is also a primarily wood-sided side-gabled I-House, with later side and rear additions. However, while 1002 Canton Street is, arguably, also a Greek Revival, it lacks many of the details that Ball House/Founder's Hall does have. 1002 Canton lacks sidelights on its front door and only has a small half-circle transom window without a lintel. 1002 Canton also has columns that lack distinctive capital.

Analysis:**UDC Design Guidelines**

Section 5.1 – Requires that original building materials are preserved. Applicant's revised proposal maintains brickwork in-place, and requests the ability to remove, clean, and then reinstall original siding and roofing wherever possible. Applicants will need to remove and re-install historical materials in order to prepare the building for restoration.

Section 5.2 – Requires that original building materials be repaired and maintained. Applicant's restoration proposal accomplishes this by only removing materials that are genuinely beyond feasible repair and reuse of all other materials through simple cleaning and repair.

Section 5.3 – Requires that original building materials that can't be replaced are replaced in kind. Applicant's proposal is to replace unrepairable materials with materials that appear substantially the same, using primarily smooth surface fiber concrete, a material that is recommended by UDC Design Guidelines 4.23b.

Reasoning for recommendation

Staff recommend **approval with conditions** for this application based on the following reasons:

- Partial demolition for the restoration of the historic structure represents a best case scenario for the preservation of the historic structure;
- Restoration process will result in the preservation of the historic character of the structure, avoids the loss of the contributing components represented by the structure, and maximizes the reuse of the historic materials
- In order for the site to be adequately used and, therefore, successfully contribute to the Historic District, **partial** demolition and **restoration** using historic materials may be the best long-term solution.



Figure 1. The existing front façade of Founder's Hall/1076 Canton Street (photo from Staff)



Figure 2. The historical front façade and porch of the, then called, "Ball House" in c.1985 (photo from the *Pictorial History of Roswell*)

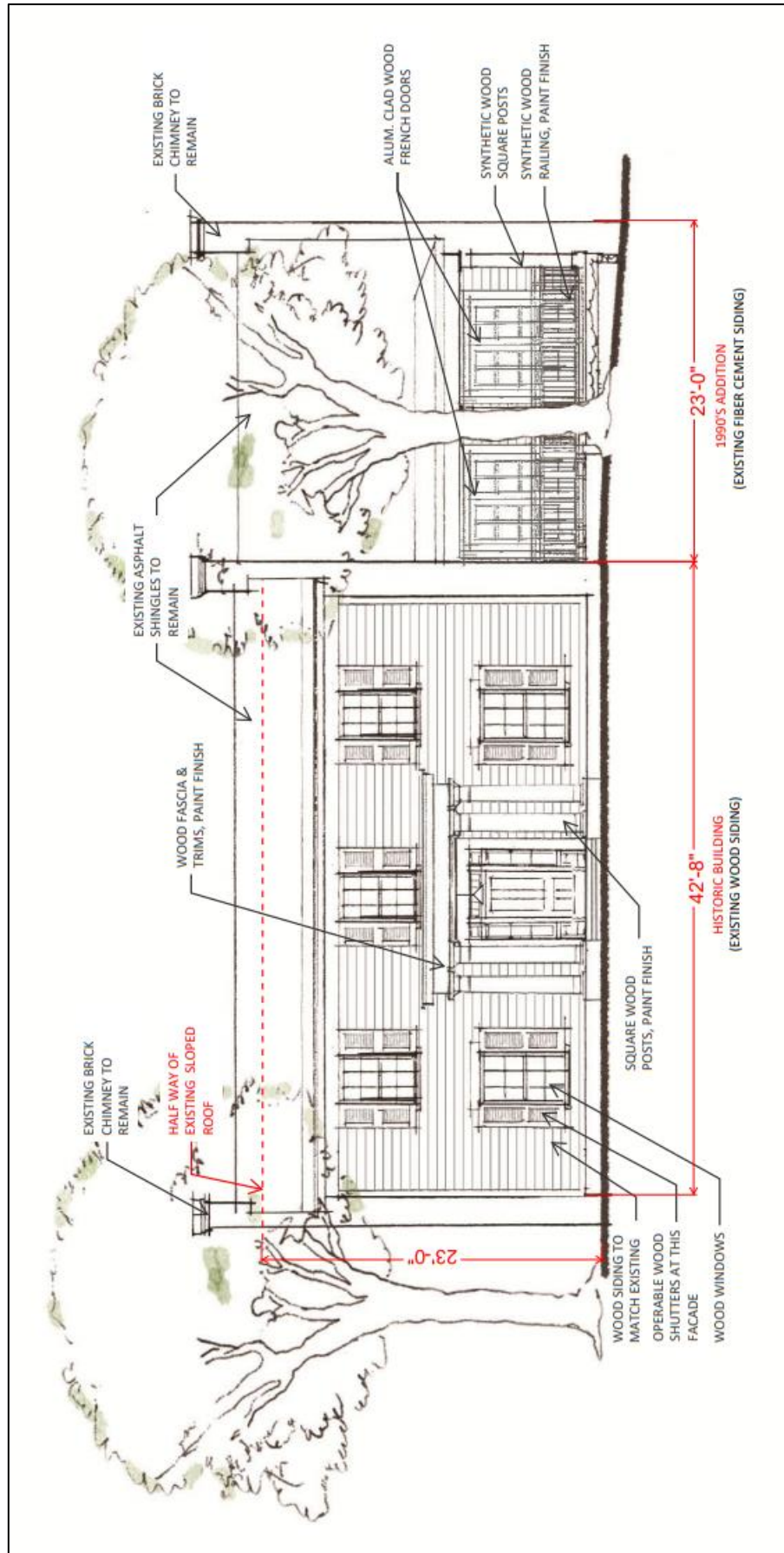


Figure 3. The new façade previously approved by HPC in 2021 (rendering from applicant). Dashed line indicates building height, as defined by the UDC.



Figure 4. The south side façade of the existing structure (photo from Staff)



Figure 5. The north side façade of the existing structure (photo from Staff)



Figure 6. Rear façade, a largely non-historic addition built in stages between 1985 - 1996, during an HPC site visit (photo from Staff)



Figure 7. Missing siding exposing the inside of the structure to the elements (photo from Staff)



Figure 8. Foundational supports below the historic portion of the existing structure, some modern reinforcements appear to be present (photo from Staff)

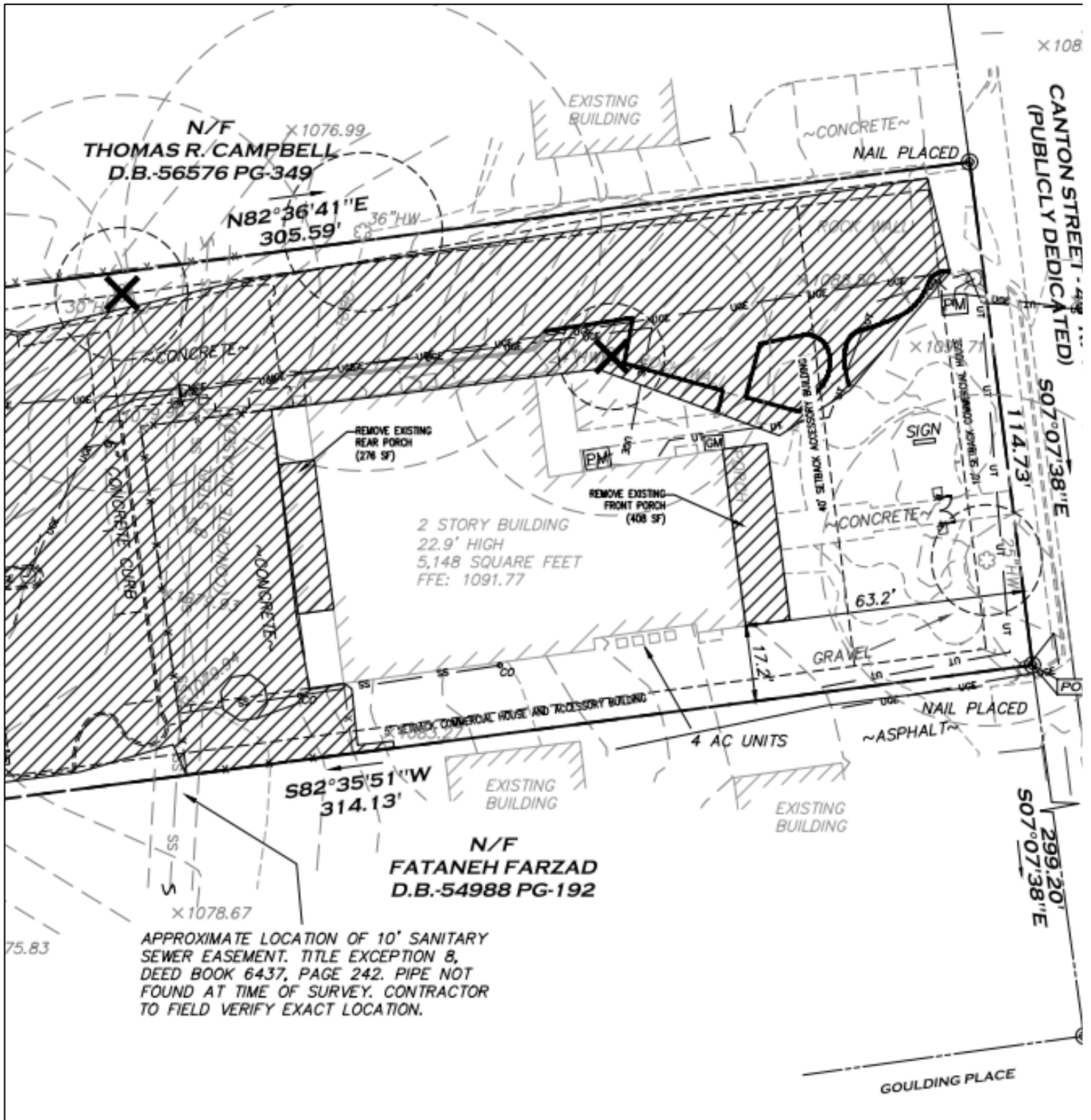


Figure 9. Partial demolition (to the non-historic front and rear porches) previously approved by HPC in 2021 (site plan provided by applicant)

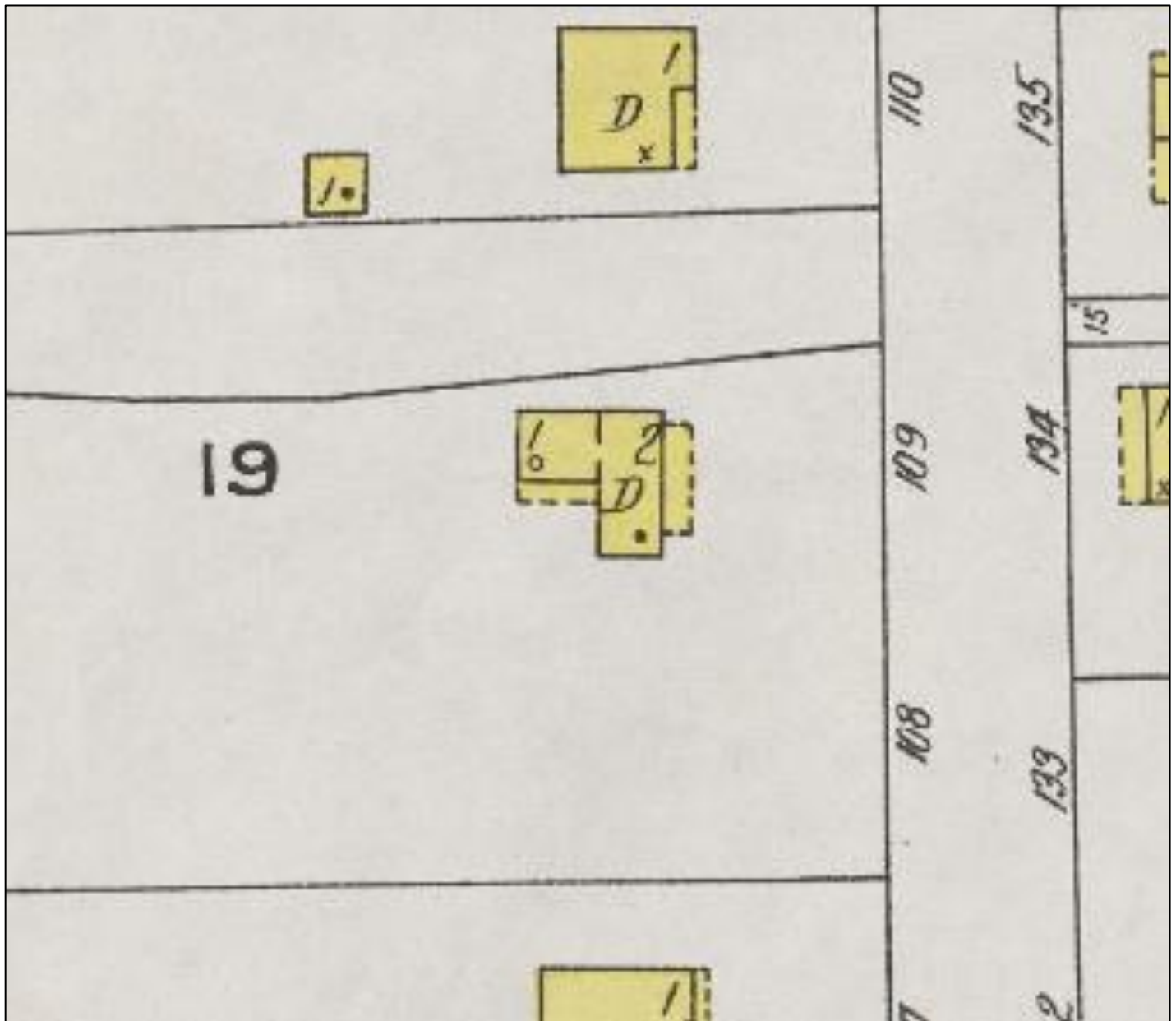


Figure 10. Ball House on 1924 Sanborn Fire Insurance Map



Figure 11. c.1986 Roswell zoning map, indicating the then “Ball House,” as having been rezoned to a commercial zoning district (provided by the Roswell Historical Society)

Project Summary

The applicants are requesting a Certificate of Appropriateness for the partial demolition for the restoration of an existing historic structure.

The property is **Upper Canton Street Character Area** of the Historic District Master Plan and is in the **Historic District Character Area** in the UDC Design Guidelines.

The existing property is classified as **historical** on the 2003 Historic Properties Map.

The property is in the **DH (Downtown House)** zoning district.

Commissioner Worksheet

Compatibility with the nature and character of the area:

General design, scale, arrangement and relation of the elements to similar features in the surrounding area:

Application Supporting Materials

HPC major application – June 25, 2025

Letter of Intent – *same day*

Demolition plan – *same day*

Restoration plan – August 29, 2025

Notes:

You would motion:

"I move to [approve, approve w/conditions, or deny] the application for a certificate of appropriateness for 1076 Canton Street [as submitted or with the following conditions]"

Department Comments

Fire

Plans reviewed by Robert Major rmajor@roswellgov.com 770-594-6263
Your plans have been approved. Please see below for comments and requirements.

The Roswell Fire Marshal's Office has reviewed the submitted plans and specifications in strict adherence to the prevailing state-adopted minimum Fire Safety Standards at the time of evaluation. Every possible effort has been invested to ensure thorough scrutiny for code compliance. However, it is essential to emphasize that this comprehensive review does not absolve the owner, contractor, architect, or any other accountable party from their obligation to comply with any aspects inadvertently overlooked or undisclosed by the reviewer.

Please be aware that the City of Roswell must formally review any proposed changes or modifications to the approved plans before implementation is authorized.

Planning and Zoning

Reviewer: Shea Dixon, Planner II, 770-594-6437, sdixon@roswellgov.com,
DH - Downtown House zoning

This property is subject to historic review and is considered 'historic' on the 2003 Historic Resources Survey.

This application is approved for review by the HPC. Final Staff recommendation to HPC will most likely use the following criteria:

- UDC 1.4.1.B: While the criteria for an historic demolition is written into both the UDC and UDC Design Guidelines, the HPC may determine its own interpretation for how the UDC Design Guidelines are interpreted.
- UDC 13.7.11.F.1 & UDC Design Guidelines 5.52a: The structure is a modified example of an "I-House" layout uncommon to the area during the period of its construction (c.1870) and is an example of Greek Revival architecture from the Reconstruction period, making it unique relative to the other Greek Revival structures in the Historic District, which tend to be antebellum. It is, therefore, of high architectural interest and notable historic interest, of which demolition would be detrimental to the continued interest of the building.
- UDC 13.7.11.F.2. & UDC Design Guidelines 5.52b: So far as can be found as of initial plan review, the building does not have significant enough connections to specific historic figures or events to be made into a historic shrine. This criteria does not restrict demolition for the property.
- UDC 13.7.11.F.3 & UDC Design Guidelines 5.52c: The applicants have actively made a proposal that would recreate the building relatively closely to as it currently exists. A Staff recommended condition should be that demolition can only occur if the structure is reconstructed as closely as possible to the original, with a minimum regarding how much must be made using original material. This criteria does not restrict demolition for the property.
- UDC 13.7.11.F.4 & UDC Design Guidelines 5.52d: As established, retention of the building would preserve a designated historic structure in the Historic District. Therefore, under this criteria, demolition would not be appropriate.
- UDC 13.7.11.F.5 & UDC Design Guidelines 5.52e: Retention of this structure, as an occupied building, could actively promote the general welfare of Roswell, as well as maintain and improve property values, business, job positions; attract tourists, students, writers, historians, artists and artisans, and new residents; and encourage the study and teaching of American and local history, culture, and architecture. However, the retention of this building in a way that would allow it to be safely regularly occupied may prove overly burdensome to any potential developer or occupier. Retention of this building, if not occupied and in use, would likely prove as a detriment to these same goals. Meanwhile, in such a scenario, the destruction and reconstruction of this building, would further these goals. Therefore, under this criteria, demolition may be appropriate, but only if it is determined by HPC that maintaining the building in a safe manner would be overly burdensome to a reasonable development.
- UDC Design Guidelines 5.52: It can be reasonably argued that the structure has gone beyond the state in which reasonable repair and restoration would save the structure. The provided engineer's report gives the implication that such restoration is possible, but may be overly burdensome to any potential applicant. HPC must determine if this is a reasonable cause to suggest that the building has "lost its integrity," as required by the UDC Design Guidelines.

Transportation

Reviewer: Serge Osse - 770-594-6428(direct) 6420(Main) sosse@roswellgov.com

Transportation recommends approval with the following conditions:

- a. Accommodate uninterrupted and safe pedestrian traffic during that work.
- b. Note: The note about repair/replace of damage structures is provided. Contact RDOT inspector Lee Dyer prior to any sidewalk or driveway repair at 770-594-6277 or Ldyer@roswellgov.com.
- c. Prior to any work in the right-of-way, obtain right-of-way encroachment permit from Transportation Department utility coordinator Dan Weisel at 770-594-6104 (direct) 6420 (Main)

Engineering

Reviewer: Lee Smith (lsmith@roswellgov.com)

Comments:

1) Several sheets listed in the Table of Contents on the cover sheet of the submitted Land Development Plans are missing. A full set of civil plan sheets will need to be submitted when applying for a land disturbance permit.

Arborist

Reviewer: Jay Reisinger

Approved (no comments provided)

Stormwater

Reviewer: Krista Thomas kthomas@roswellgov.com

Approved -

No comments from stormwater on demolition plan.

Building

Reviewer: Don Fouts

1. Please apply for a demolition permit after the HPC approval is obtained.

Reviewer: Robert Sheppard, Building Division, 770-817-6756, rsheppard@roswellgov.com

Approved with Comments:

****No work can begin until a building permit is applied for and issued for the proposed work scope****

The applicant has submitted an engineer's report and an LOI with the application; the engineer's report documents the extensive nature any repairs would require, and the associated costs. The LOI states that the comprehensive structural damage makes the building beyond repair and bases the need for demolition on these grounds. In addition, the LOI commits to the recovery and use of salvageable, usable historic elements and components.

HPC application is for complete demolition of the subject building/structure.

1. Should HPC approve complete demolition, only a demolition permit will be required prior to commencing work at the site (along with HPC stipulations for materials recovery and use).
2. Should HPC require the building/structure to be repaired or renovation/alteration to preserve a portion or all of the existing building, the following will be required to be submitted with a demolition permit:

Applicants are required to submit a detailed engineering report from a Georgia license engineer on the existing structure's ability to withstand proposed scope of work, including repairs or partial demolition. Due to the condition of the existing building, and need for repairs throughout, concerns for the structural integrity of the building warrant assessment of the existing foundation, walls, and roof structure to withstand the extent of work required to complete the scope of work.

A certified, detailed demolition report for the project scope that depicts a phased demolition to complete the prescribed repairs listed in the attached engineering report. The report is to also include a shoring plan to support the existing building in place. A pre-application meeting to discuss project scope and how to proceed will be required. Shoring plan must also show how the existing historic structure will be supported and protected during each phase of the demolition to complete the required repair.

Water

Need to add a note for the contractor to disconnect water service line, that runs from the 3/4 inch water meter to the building, at the meter.

Sanitation

Reviewer: Nick Pezzello
Approved (no comments provided)



City of Roswell
Historic Preservation Commission
AGENDA ITEM REPORT

ID # - 10060

MEETING DATE: September 10, 2025

DEPARTMENT: Historic Preservation Commission

ITEM TYPE: Public Hearing

52 Goulding Place - Alternative retaining wall material

Item Summary:

The applicants are proposing to replace a decaying railroad tie retaining wall with a concrete block retaining wall. Failing air conditioning unit pads will also be replaced.

Committee or Staff Recommendation:

Staff recommends that HPC approve the application with the following condition:

1. That the retaining wall must be screened with landscaping to minimize visibility from abutting lots and eliminate visibility from any public right-of-way.

Financial Impact:

N/A

Recommended Motion:

To approve HPC 20253047 (52 Goulding Place) with conditions recommended by Staff.

Presented by:

Shea N. Dixon, Planner II

APPLICATION INTAKE

In Person: 8:00 am – 4:00 pm


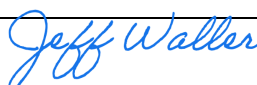
By Email: planningandzoning@roswellgov.com**RECEIVED**

By City of Roswell Planning & Zoning at 8:37 am, Jul 15, 2025

3.2.a

HISTORIC PRESERVATION COMMISSION APPLICATION

Before submitting an application, please contact Planning and Zoning to determine if a pre-application meeting is required. Preapplication meeting date: _____

| | | | |
|--|---|---|---------------------------|
| Application Number: 20253047 | | | |
| Type of Request: <input checked="" type="checkbox"/> Major <input type="checkbox"/> Administrative | | | |
| Estimated Cost: <input checked="" type="checkbox"/> Less Than \$50,000 <input type="checkbox"/> Greater Than \$50,000 | | | |
| PROJECT DESCRIPTION | | | |
| Name of Project: 52 Goulding Place - Retaining Wall Replacement | | | PIN: 12 -1901-0387-049-3 |
| Project Address: 52 Goulding Place, Roswell GA, 30075 | | | |
| <u>Building/ Renovation</u> ___ New Construction _____ sq. ft. <input checked="" type="checkbox"/> Renovation (No change to building footprint) ___ Building Addition _____ sq. ft. | | <u>Site Work</u> ___ Site work greater than 5000 sq ft. <input checked="" type="checkbox"/> Site work less than 5000 sq. ft. <u>Demolition</u> ___ Demolition of structure in Historic District | |
| CONTACTS | | | |
| Applicant/Representative | Name/Company Name: Jeff Waller | | |
| | Address: 52 Goulding Place | | |
| | City: Roswell | State: GA | Zip: 30075 |
| | Email: jeff.waller@7mindsets.com | Phone: 404-444-9782 | |
| Property Owner | Name/Company Name: Same as Applicant | | |
| | Address: | | |
| | City: | State: | Zip: |
| | Email: | Phone: | |
| I hereby certify that all information provided herein is true and correct. | | | |
|  | | | |
| Applicant Signature: Property Owner or Owner's Representative  | | | Date: July 8, 2025 |

Attachment: 52 Goulding HPC Application (52 Goulding Place - Certificate of appropriateness for an alternative retaining wall material)

Please refer to Section 13.7 of the Unified Development to determine if your project is categorized as an Administrative or Major Review

City of Roswell • 38 Hill Street • Suite G-30 • Roswell, Georgia 30075 • 770-817-6720 • www.roswellgov.com

Planning and Zoning Division Application • Rev 2/25/2025

Packet Pg. 62



SIGNATURE PAGE

READ CAREFULLY BEFORE SIGNING.

- I understand that failure to supply all required information (per the relevant Applicant Checklist and requirements of the *Unified Development Code*) will result in **REJECTION OF THE APPLICATION**.
- I understand that the application may not be approved if applicant plans to attend the Historic Preservation Commission meeting without required items or if the applicant presents plans that differ from submittal materials.
- I understand that I will become familiar with applicable zoning code and Design Guidelines.

I understand that failure to respond OR to submit deficient items within six months of receiving comments will result in **THE APPLICATION BEING DEEMED AS WITHDRAWN BY THE CITY**

Applicant or Representative Signature

Jeff Waller

Date July 8, 2025

I respectfully petition that this property be considered as described in this application. Wherefore, applicant prays that the procedures incident to the presentation of this petition be taken, and the property be considered accordingly. Additionally, applicant further acknowledges and fully understand all above statement made by the City of Roswell.

I hereby certify that all information provided herein is true and correct

Property Owner Signature

Jeff Waller

Date July 8, 2025

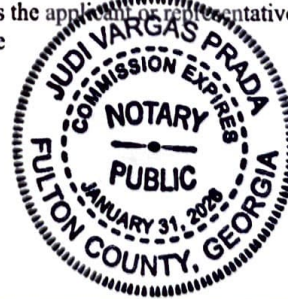
Address: 52 Goulding Place

City: Roswell

State: GA

Zip: 30075

NOTARY: Personally appeared before me the above applicant or representative named Jeff Waller who on oath says that he/she is the applicant or representative for the foregoing, and that all the above statements are true to the best of his/her knowledge



Notary Signature

Judi Vargas-Prada

Date 7/8/2025

Date commission expires:

1/31/2026



| ADDITIONAL CONTACTS | | |
|---------------------|---|----------------------------|
| Architect | Name/Company Name: N/A | |
| | Email: | Phone: |
| Engineer | Name/Company Name: Law Engineering Consultants | |
| | Email: laweng@lawengconsultants.com | Phone: 678-654-9271 |
| Landscape | Name/Company Name: | |
| | Email: | Phone: |
| Other | Name/Company Name: | |
| | Email: | Phone: |
| Other | Name/Company Name: | |
| | Email: | Phone: |

| Fee Schedule – Design Review Board | | |
|------------------------------------|--|-------|
| | Design plan review – Major (Projects > \$50,000) | \$850 |
| | Design plan review – Major (Projects <50,000) | \$500 |
| | Administrative | \$200 |

| Fee Schedule – Historic Preservation Commission | | |
|---|--|------------|
| | Major Certificate of Appropriateness (Projects > \$50,000) * + starred items below | \$850 |
| | Major Certificate of Appropriateness (Projects <50,000) *+ starred items below | \$500 |
| | Demolition*+ starred items below | \$500 |
| | Administrative | \$100 |
| | *Advertising | \$300 |
| | *Public notice signs | \$120/sign |

Please refer to Section 13.7 of the Unified Development to determine if your project is categorized as an Administrative or Major Review

DESIGN PLAN REVIEW CHECKLIST

The following application materials are required for all Major applications:
If applying for an Administrative application, please confirm with Planning and Zoning the submittal requirements – planningandzoning@roswellgov.com

1. Completed and signed/ notarized application form.
2. Letter of Intent describing the proposed scope of work.
3. Proof of a Stormwater Concept (applicant must contact Stormwater Reviewer).
4. Site plan, which must contain all site development statistics:
 - Total site area
 - Primary/side street build-to-zone and building in primary street BTZ (min % of lot width)
 - Building footprint [SF & %],
 - Gross Square Footage
 - Parking space numbers (existing, proposed, and how many are required per UDC)
 - Total impervious surface [SF & %]
 - Outdoor amenity space [SF & %]
 - Landscape open space [SF & %]
 - All required buffers
5. River corridor – MRPA information (if applicable)
6. Archeology report (UDC 12.8.3 if applicable)
7. A rendering and all four side elevations which must contain:
 - Dimensions
 - Colors and materials labelled
 - Primary and side street transparency %
 - Upper and ground floor transparency %
 - Maximum blank wall area
 - Floor-to-floor heights
 - If bulk plane is applicable, provide a detailed elevation showing the bulk plane for the proposed building(s).
8. Photographs of all four sides of existing buildings and adjacent structures
9. Drawings meeting the intent of section 10.2.8 Screening (both utility and dumpster).
10. Digital copy of material sample board for all doors, windows, paint chips, exterior façade material selections(siding, brick, roof material etc), awnings, lighting, all exterior structures such as playground equipment or pergolas, fencing, pavers, planters, or any new materials being introduced to the exterior of the building or on the site.
11. Landscape plan(s) and tree survey(s) which must contain all landscape development information (planting list with common name, current & proposed tree density units, buffers and landscape strips, and proposed tree removal).
12. Provide justification for removal of specimen trees in accordance with section 12.1.3, letter B, #1
13. Topographical survey of the property.
14. Proposed grading plan.
15. If there are proposed retaining walls, please
 - Provide information on a grading plan indicating the top of the wall and the bottom of wall(s);
 - Provide an example of the material for the proposed wall(s); and
 - A profile and cross-section of the proposed wall(s).
16. Photometric Plan.
17. Steep slopes analysis and traffic impact study if required (applicant must contact City Engineer and RDOT). If required, this analysis and study must be submitted prior to the application submittal.
18. **Digital copy of all required documentation.**
19. **Application fees must be paid before application can be reviewed. (see fee schedule)**



****ALL APPLICATIONS MUST BE REVIEWED AND APPROVED BY ALL CITY DEPARTMENTS BEFORE BEING ADVERTISED AND PLACED ON AN AGENDA ****

- Historic Preservation Commission meetings are held in City Hall Council Chambers at 6:00 PM on the 2nd Wednesday of each month.

2025 HISTORIC PRESERVATION COMMISSION MEETING DATES

| |
|-------------------------------|
| Wednesday, January 8, 2025 |
| Wednesday, February 12, 2025 |
| Wednesday, March 12, 2025 |
| Wednesday, April 9, 2025 |
| Wednesday, May 14, 2025 |
| Wednesday, June 11, 2025 |
| Wednesday, July 9, 2025 |
| Wednesday, August 13, 2025 |
| Wednesday, September 10, 2025 |
| Wednesday, October 8, 2025 |
| Wednesday, November 12, 2025 |
| Wednesday, December 10, 2025 |

Please refer to Section 13.7 of the Unified Development to determine if your project is categorized as an Administrative or Major Review

July 8, 2025

Letter of Intent for 52 Goulding Place, Roswell, GA 30075

City of Roswell
Planning and Zoning Division
38 Hill Street, Suite 100
Roswell, GA 30075

To Whom It May Concern:

I am writing to respectfully submit this revised Letter of Intent regarding a project on my property at 52 Goulding Place, Roswell, GA 30075. The project involves replacing a deteriorating railroad tie retaining wall in my backyard. This replacement will be in the exact same footprint and be of the exact height as the existing railroad tie wall.

As part of this application, I would like to request an exception to UDC Design Guidelines 4.13 for an alternative material for a retaining wall. We are seeking approval to construct the replacement retaining wall using **modular block**. This request is based on the following key considerations:

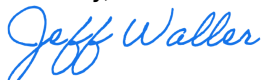
- **Cost Efficiency:** Modular block presents a more cost-effective solution, substantially lowering the overall project cost without compromising structural integrity or performance.
- **Stability and Integrity:** Modular block offers a more straightforward installation process with significantly less margin for error, making it the superior choice for this application. Given that the wall will not be visible and structural integrity is the primary requirement, modular block provides a more reliable and engineered solution to ensure long-term stability and performance.
- **Limited Visibility:** The proposed retaining wall will not be visible from the public right-of-way or adjacent streets. Furthermore, the wall reaches a maximum height of only 4½ feet, minimizing both its visual impact and structural complexity.

We are committed to using a modular block that closely resembles stone in color and texture, ensuring compatibility with the historic character of the area while achieving practical project feasibility.

This project will continue to be managed in collaboration with Law Engineering Consultants, Inc., and we are prepared to follow all application steps and documentation requirements as outlined by the Historic Preservation Commission.

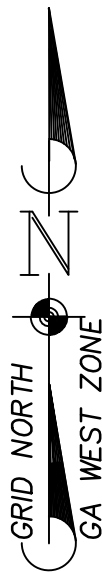
Thank you for your time and thoughtful consideration of our request. I remain available to provide any additional documentation or clarification you may require. Please feel free to contact me at (404) 444-9782 or Jeff.Waller@7Mindsets.com.

Sincerely,



Jeff Waller

52 Goulding Place
Roswell, GA 30075
(404) 444-9782
Jeff.Waller@7Mindsets.com



| Course | Bearing | Distance |
|--------|-------------|----------|
| L1 | S81°23'18"E | 85.07' |

CLERK OF THE COURT FILING INFORMATION

P.O.C.
Road Centerline Intersection
of Goulding Place &
Windy Pines Trail

S84°11'04"E 231.86'

P.O.B.
"X" Etch
in Curb

19.3'

10.2'

SSMH

UP

Stone Pavers

L1 R per Ref. #1

11.1'

1/2"RBF

19.2'

N81°16'41"W 115.77'

1/2"RBF

UP

Fence 1.4'
West of R

13.1'

Porch

Existing
Residence

Deck

Deck

Wall

Concrete
Flume

Wall

41.2'

10.4'

N or F
Leslie Campbell Judge
DB 53467, PG 700

N06°18'13"E 237.96'

R per Ref. #1

Fence 1.7'
West of R

125.7'

0.458 ACRES

SSMH

25' Stream Buffer (State)

Fence 1.0'
East of R

1/2"RBF

N85°42'51"W 124.53'

1/2"RBF

25' Stream Buffer (State)

Creek C

N85°42'51"W 85.05'

1/2"RBS

N or F
Providence In Roswell
Homeowners' Association, Inc.
DB 53918, PG 25
PB 356, PG 24

S06°18'13"W 231.54'

Fence 0.7'
East of R

125.7'

10.4'

Deck

Wall

Concrete
Flume

Wall

19.3'

SSMH

UP

Stone Pavers

L1 R per Ref. #1

11.1'

1/2"RBF

19.2'

N81°16'41"W 115.77'

1/2"RBF

NOTES:

1. Field Data: This survey was conducted using GPS, static and real time kinematic methods. A relative positional precision, for horizontal measurements, of less than 0.075' + 50ppm at the 95% confidence interval was achieved.
2. Field Measurements were taken with a Leica TS12, and Carlson BRx7, dual frequency receiver base station and rover on 07-02-2024 and were adjusted using the Least Squares Method.
3. Bearings are based on Grid North, Ga West Zone, NAD 83 and established using a Carlson BRx7, dual frequency receiver base station and rover.
4. Plat Precision: 1'/170,101'.
5. The public records referenced hereon reflect only those records necessary to establish the boundaries hereon, and reference to the same does not and is not intended to constitute a title search or title opinion.
6. This property is not located in a Flood Hazard Area as indicated on F.I.R.M. No. 13121C0063G, dated 09-18-2013.
7. Building setbacks and buffers may not be shown hereon. They are governed by the local jurisdiction and should be confirmed prior to land planning or construction activities.
8. RIGHT-OF-WAY NOTE: No right-of-way deed was found during the records research performed for this survey. Previous surveys of the subject property and adjacent properties do not refer to a right-of-way width. The boundary line for the subject property shown along Goulding Place is based on the boundaries described in reference #1.

REFERENCES:

1. A Warranty Deed between Margaret Smith Estes, and Jeff Waller & Lillian Posada Waller, dated 10-12-2004 and recorded in DB 38656, PG 459 of Fulton County records. Said Warranty Deed refers to a survey prepared for John Carruth & Leslie Carruth by Richard Webb & Associates, dated 02-08-1996, last revised 03-11-1996.
2. Encroachment Agreement between Jeff Waller & Lillian Posada Waller, and Sandra E. Bauer, dated 12-31-2013 and recorded in DB 53468, PG 1 of Fulton County records.

| LEGEND | |
|--------|-------------------------|
| OTPF | Open Top Pin Found |
| CTPF | Crimp Top Pin Found |
| CTPS | Crimp Top Pin Set |
| RBF | Rebar Found |
| RBS | Rebar Set |
| B/L | Building Line |
| DB | Deed Book |
| PB | Plat Book |
| UP | Utility Pole |
| R/W | Right-of-Way |
| N or F | Now or Formerly |
| R | Property Line |
| C | Center Line |
| L.L.L. | Land Lot Line |
| P.O.C. | Point of Commencement |
| P.O.B. | Point of Beginning |
| P.O.L. | Point On Line |
| USACE | U.S. Army Corps of Eng. |
| SSMH | Sanitary Sewer Manhole |
| --- | Land Lot Line |
| x x | Fence |
| # # | Overhead Wire |
| ~ | Not to Scale |
| Δ | Calculated Point |

SURVEYOR'S CERTIFICATE (COUNTY):

It is hereby certified that all monuments and improvements shown hereon actually exist except as otherwise indicated, and that their location, size, type and material are correctly shown.

SURVEYOR'S CERTIFICATE (STATE):

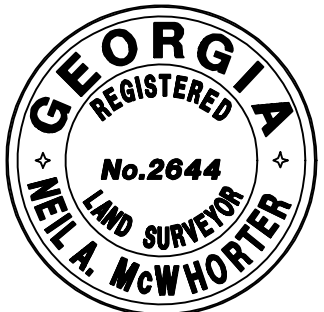
This plat is a retracement of an existing parcel or parcels of land and does not subdivide or create a new parcel or make any changes to any real property boundaries. The recording information of the documents, maps, plats, or other instruments which created the parcel or parcels are stated hereon. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration for Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.

Neil A. McWhorter

07-22-2024

Neil A. McWhorter, GA RLS # 2644 Date
K.E.Q., Inc. Certificate of Authorization Number LSF000275

0 30 60 90 120
SCALE: 1"= 30'



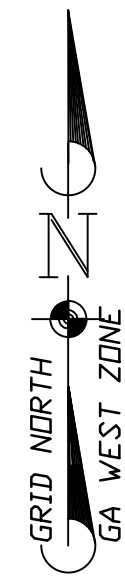
Retracement Survey for:

JEFF WALLER & LILLIAN P. WALLER

Land Lot 387, 1st Dist., 2nd Sect.
City of Roswell, Fulton County, Georgia
07-22-2024

Mcwhorter & Anderson
LAND SURVEYING & CIVIL ENGINEERING

416 Pirkle Ferry Road
Building H, Unit 300
Cumming, GA 30040
(770) 889-9430
www.mga-se.com
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FILE: 13111



Know what's below.
Call before you dig.



| Course | Bearing | Distance |
|--------|-------------|----------|
| L1 | S81°23'18"E | 85.07' |

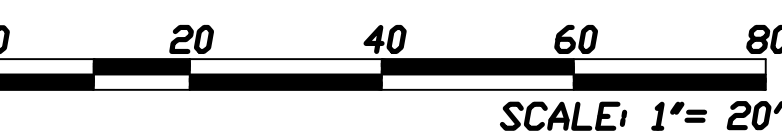
- NOTES:
- 1.) Boundary information based on a Retracement Survey by Jeff Waller & Lillian P. Waller by McWhorter & Anderson dated 07-22-2024.
 - 2.) Topographic information based on a field run topography date 11-14-2024.
 - 3.) Existing Septic System is sanitary sewer.
 - 4.) This property is not located in a Flood Hazard Area as indicated on F.I.R.M. No. 13121C0063G, dated 09-18-2013.
 - 5.) Fulton County personnel and/or agents, shall have free and total access to across, and under driveways that will be installed on this recorded lot, for the purpose of inspection, repair, and/or construction, and shall have no responsibility for damages to, or the repair of improvements within said easement.
 - 6.) Site address - # 59 Goulding Place, Roswell GA 30076
 - 7.) Disturbed area- 0.03± Acres, 1317± sq. ft.
 - 8.) Proposed Additional Impervious Area 0 sq. ft.
 - 9.) Setbacks may or may not be shown are governed by the local jurisdiction and should be verified with the City of Roswell prior to construction.

ADDITIONAL EROSION CONTROL DEVICES MAY BE
REQUIRED BASED ON THE EXISTING SITE CONDITIONS
IF DEEMED NECESSARY BY THE ON-SITE INSPECTOR.

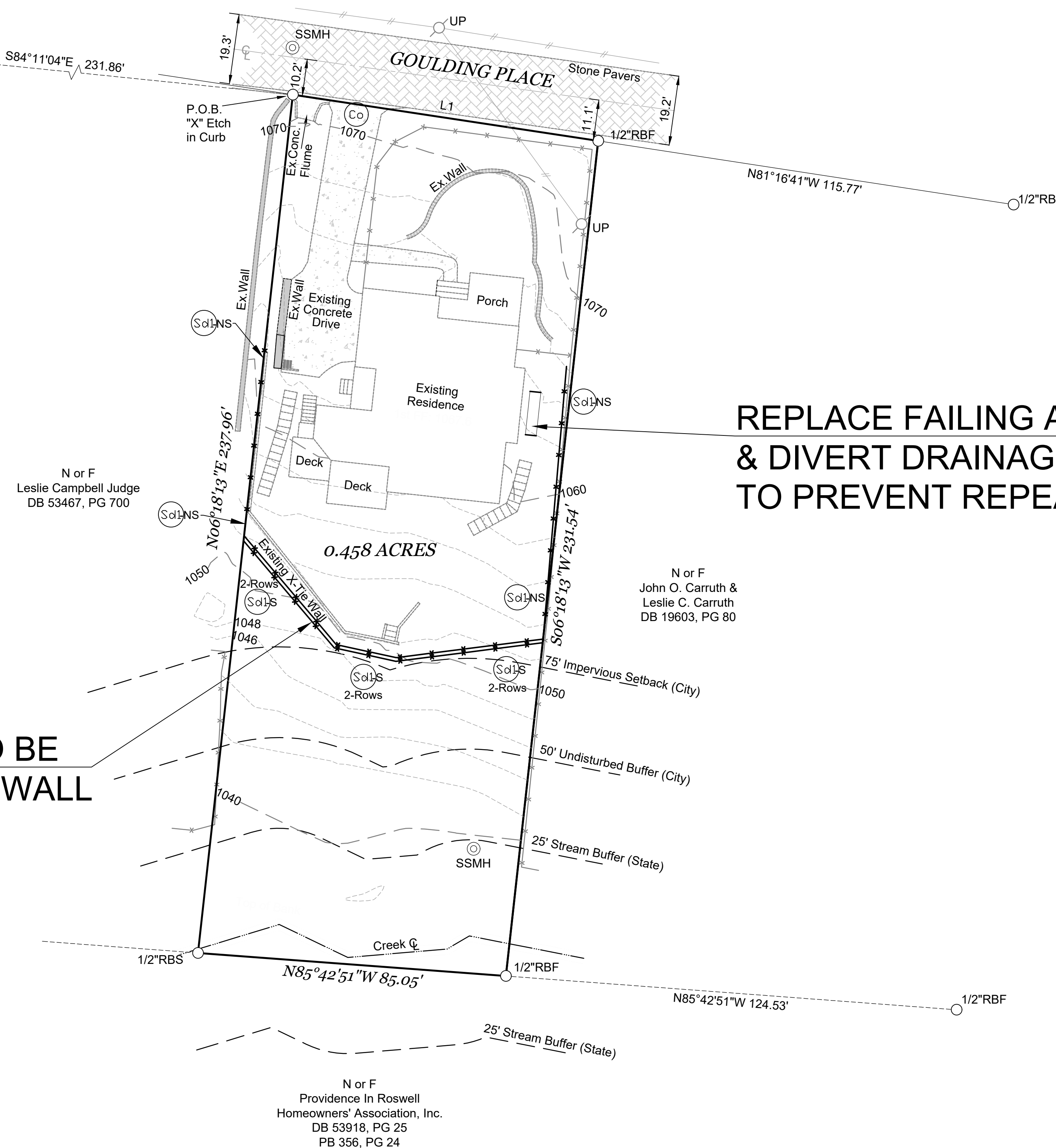
DECAYED X-TIE WALL TO BE
REPLACED WITH STONE WALL

REPLACE FAILING AC UNIT PADS
& DIVERT DRAINAGE PAST UNITS
TO PREVENT REPEAT FUTURE FAILURE

| EROSION CONTROL LEGEND | |
|------------------------|--|
| (Sd1) | SEDIMENT BARRIER |
| (Sd2) | INLET PROTECTION |
| (Su) | SURFACE ROUGHING |
| (Co) | CONSTRUCTION ENTER/EXIT |
| (Ds1) | DISTURBED AREA STABILIZATION (WITH MULCHING) |
| (Ds2) | DISTURBED AREA STABILIZATION (WITH TEMPORARY SEEDING) |
| (Ds3) | DISTURBED AREA STABILIZATION (WITH PERMANENT VEGETATION) |
| (Ss) | EROSION CONTROL MATTING AND BLANKETS |
| (CRITICAL AREA) | AREAS REQUIRING SPECIAL ATTENTION: USE MD OR SU WITH Dx1, Dx2, AND Dx3 |
| → | SWALE / DRAINAGE FLOW |

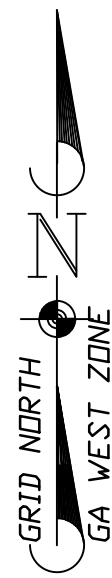


EXISTING SITE CONDITIONS & EROSION CONTROL FOR WALL REPLACEMENT



Wall Replacement Plan for:
JEFF WALLER & LILLIAN P. WALLER
Land Lot 387, 1st Dist., 2nd Sect.
City of Roswell, Fulton County, Georgia
07-22-2024

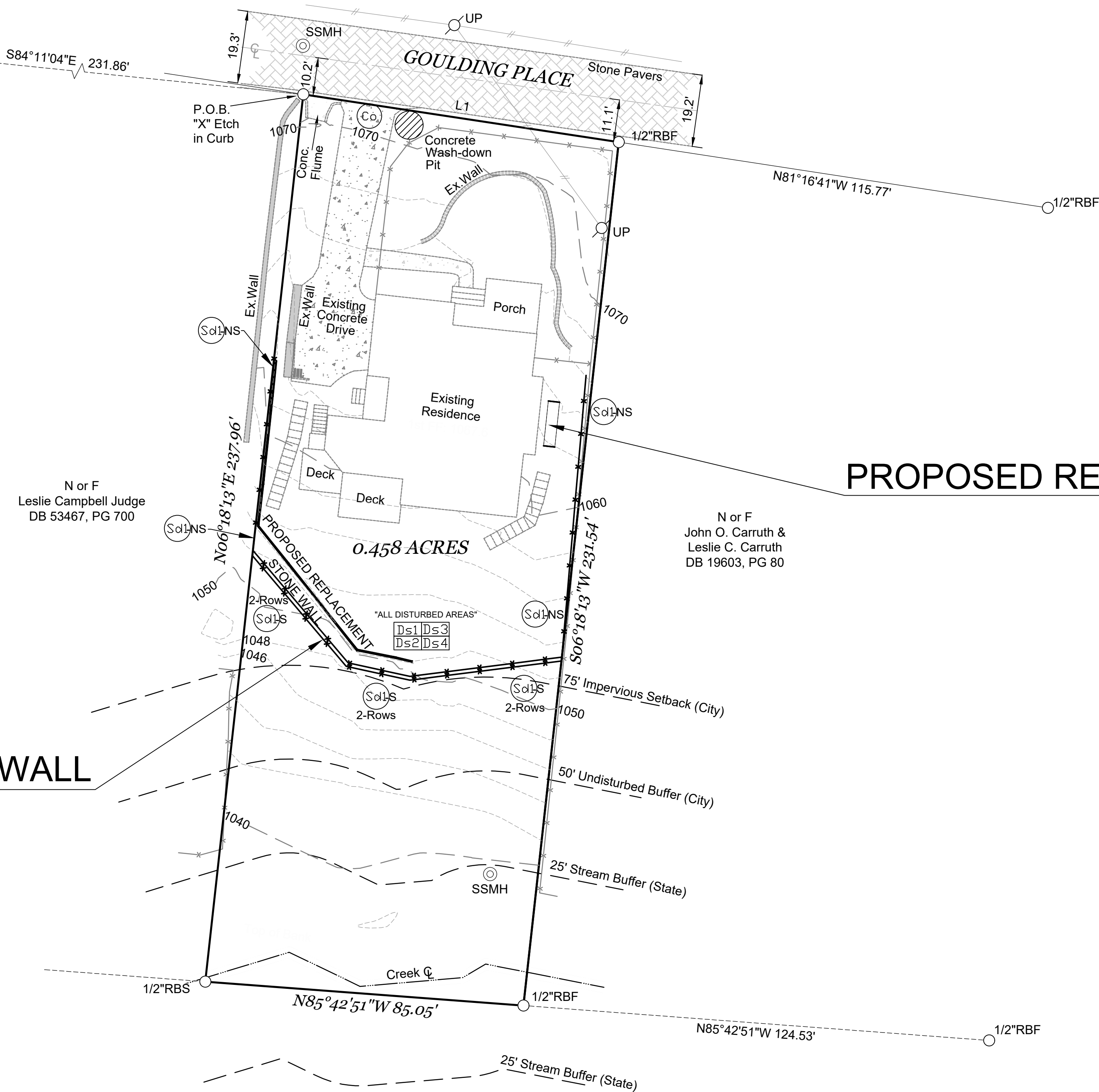
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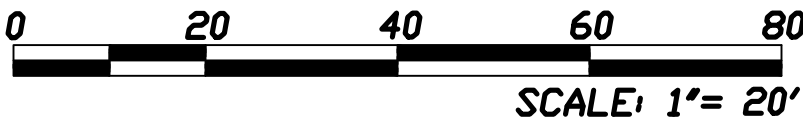
ADDITIONAL EROSION CONTROL DEVICES MAY BE REQUIRED BASED ON THE EXISTING SITE CONDITIONS IF DEEMED NECESSARY BY THE ON-SITE INSPECTOR.



PROPOSED REPLACEMENT STONE WALL

PROPOSED REPLACEMENT AC UNIT PADS

PROPOSED REPLACEMENT STONE WALL LAYOUT



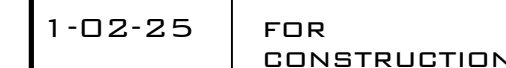
Wall Replacement Plan for:

JEFF WALLER & LILLIAN P. WALLER

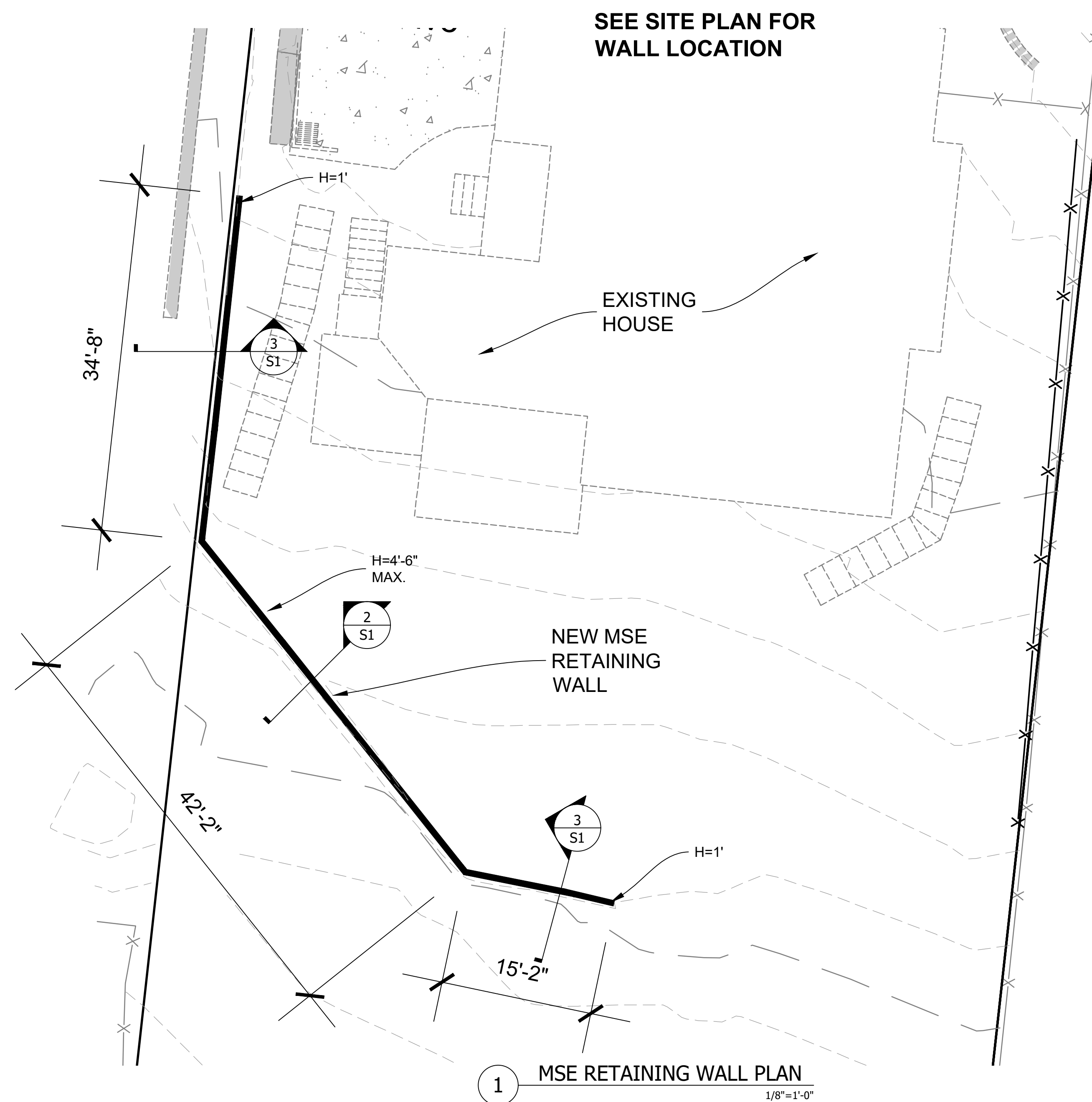
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1. WALL FOUNDATIONS SHALL BEAR ON ORIGINAL UNDISTURBED SOILS OR ENGINEERED FILL WITH A MINIMUM SAFE ALLOWABLE BEARING CAPACITY OF 2500 PSF. BACKFILL FOR THE RETAINING WALL SHALL BE CLEAN FILL MATERIAL WITH A DRY DENSITY OF AT LEAST 90 pcf. BEARING CAPACITY SHALL BE VERIFIED BY A QUALIFIED GEOTECHNICAL ENGINEER.
2. WALL TO BE INSTALLED IN CONFORMANCE WITH MANUFACTURER'S INSTALLATION INSTRUCTIONS.
3. RETAINING WALL DESIGN BASED ON THE FOLLOWING PARAMETERS
BACKFILL WEIGHT 120 pcf
INTERNAL ANGLE OF FRICTION 30 deg.
4. GEOSYNTHETIC REINFORCEMENT SHALL HAVE ULTIMATE TENSILE STRENGTH OF 3,500 lbs/ft
5. GEOSYNTHETIC REINFORCEMENT FABRIC SHALL BE LAID HORIZONTALLY ON COMPACTED INFILL MATERIAL AND PULLED TAUT.
6. INFILL MATERIAL SHALL BE PLACED IN 8" MAXIMUM LIFTS ON GEOSYNTHETIC FABRIC AND COMPACTED WITH HAND-OPERATED EQUIPMENT.
7. GEOSYNTHETIC MATERIAL NOT REQUIRED IN WALL HEIGHTS OF 3'-0" OR LESS
8. REQUIRED GUARDRAILS/ FENCING AT TOPS OF WALLS TO BE DETAILED AND PROVIDED BY OTHERS.
9. DESIGN CONFORMS WITH:
2018 INTERNATIONAL BUILDING CODE WITH GA AMENDMENTS



52 GOULDING PLACE
ROSWELL, GA 30076

PAGE No.

S - 1

THE VERONA COLLECTION®

Messina®

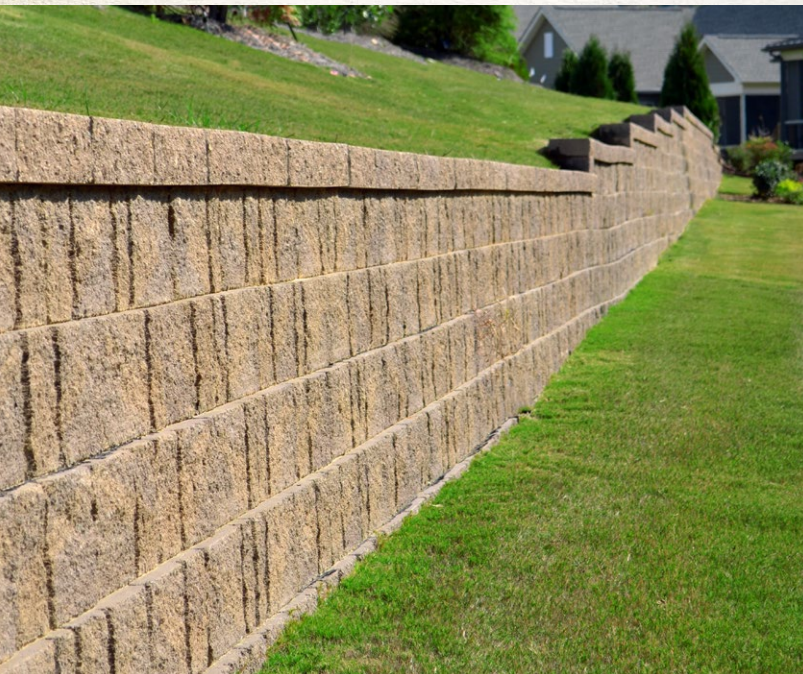
By RidgeRock Retaining Walls

The Messina retaining wall system is the second product in the evolving Verona Collection® by RidgeRock. Introduced in 2012, Messina® provides the same Old World elegant look of its Belgado® predecessor while incorporating the overwhelmingly popular features of our RidgeRock II product line. The Messina retaining wall system also incorporates the patented Flexible Wing Positioning System (FWPS) introduced in 2009 which ensures superior shear strength while affording the ability to create curved walls with ease.

The Multi-size rustic appearance of the Messina® system is based on the use of four distinct retaining wall units. Each unit provides 2 differing unit sizes in the wall which results in a random multi-unit finished wall like no other system on the market today.

The integral shear key of the Messina® wall system provides positive block-to-block shear. The shear key is integrated into the block so the need for often omitted pins and clips is eliminated.

The Flexible Wing Positioning System (FWPS) is the latest advancement in the RidgeRock family of products. Coupled with the integrated shear key the positioning wings located on either side of the Messina® units, provide additional shear resistance with the shear key of the course above. The Flexible Wing Positioning System also provides the flexibility to create curved walls with ease without unit modifications.



Attachment: 52 Goulding Material samples (52 Goulding Place - Certificate of appropriateness for an alternative retaining wall material)

THE VERONA COLLECTION®

Messina®

By RidgeRock Retaining Walls

Four Unique Units One Amazing Result

With each Messina® unit having its own unique appearance and characteristics it is amazing that each unit is also so similar. While many multi-piece systems present reduced installation efficiency by requiring the use of several units to cover one square foot of face, each Messina unit covers one square foot of face with the placement of just one unit.



Header A - Bottom view



Stretcher A - Top view



Header B - Bottom view



Stretcher B - Top view

Block Specifications:

Weight (empty)*: Approx. 62 lbs
 Height*: 8 inches
 Depth* (front to back): 9 inches
 Width* (left to right): 18 inches
 Face coverage*: 1.0 sq.ft.
 Setback per course*: 1 inch

*Weight, setback and other dimensions may vary by region. Contact your local representative for more information.

Patent Nos. 6,168,354, 6,474,036, 8,141,315. Other patents pending.

Call your local RidgeRock representative to learn more about how RidgeRock Retaining Walls can meet your most challenging site development and landscaping needs.



RidgeRock Retaining Walls, LLC
 P.O. Box 241233, Charlotte, NC 28224
 704.504.3358 office, 704.504.3038 fax

www.Ridge-Rock.com

Packet Pg. 74



Attachment: 52 Goulding Material samples (52 Goulding Place - Certificate of appropriateness for an



PETITION HPC20253047

Application Information

| | |
|------------------------|--|
| Address: | 52 Goulding Place |
| Applicant: | Jeff Waller |
| Request: | Certificate of Appropriateness for an alternative material choice for a retaining wall |
| Classification: | Non-historic on the 2003 historic properties map |
| 2018 Survey: | Not included in 2018 survey; built 1995 |
| Zoning: | DR (Downtown Residential) |

Applicable Guidelines

UDC 1.4.1 & 13.7.6: HPC has final say on interpretation of the UDC Design Guidelines within the Historic District, and may grant variances to the provisions of the historical preservation code if the process would cause undue burden

UDC Design Guidelines 1.27: Retaining walls must limit impact on natural surroundings

UDC Design Guidelines 4.13c: Concrete blocks retaining walls are an expressly disallowed material in the Historic District

UDC Design Guidelines Figure 33: Reduced visibility areas are not as sensitive to historical preservation

Recommendation

Staff recommends **approval with conditions** of this application.

Staff recommends approval with the following conditions:

1. That the retaining wall must be screened with landscaping to minimize visibility from abutting lots and eliminate visibility from any public right-of-way.

Staff Comments

Overview:

The applicants are proposing to replace a decaying railroad tie retaining wall with a concrete block retaining wall. Failing air conditioning unit pads will also be replaced.

The applicants have previously been approved for a new retaining wall through an HPC administrative application (HPC 20250082). However, this retaining wall was approved with flagstone, a material supported by the UDC Design Guidelines. Applicants claim that there is a financial hardship that necessitates use of concrete blocks, rather than flagstone. The use of concrete blocks is prohibited by the UDC Design Guidelines and can, therefore, not be approved administratively.

The applicants' plans were submitted in July 2025 and plan reviews completed in August 2025.

Property History:

c.1857: Road that the property is on (now called Goulding Place) is built as a road leading up to Colonial Place (now called Goulding House)

1988: Property is included in an expansion of the Historic District (HPC 88-16)

1995: HPC approves a new house with "traditional architecture and materials" to be placed on the property (HPC 95-06). This is the current house on the property.

The house is constructed that same year, according to the Fulton County Board of Assessors.

Minor changes of some sort were proposed and made to the building, records do not show what the request was, but the approval letter suggests no HPC application was filed or required.

2008: Changes to the roofline of the house, in order to accommodate an additional bedroom onto the building is approved by HPC (HPC 08-06).

2012: HPC Staff approved changing window panes on the master bathroom to glass blocks (HPC 12-15)

2025 February: An HPC administrative application is approved for a fieldstone retaining wall in the rear of the property (HPC 20250082).

2025 July: Applicants submit current application.

Site Plan:

The property includes a one-and-a-half story house of undisclosed size, as well as several walls/retaining walls, and two decks and a front porch, sitting on 0.458 acres of land.

Architecture:

Primary structure

The primary structure at 52 Goulding Place is a single-family residence with non-regular house form in the New Traditional Victorian style of architecture.

As a New Traditional Victorian, it is a modern, simplified version of more older, traditional Victorian style. However, despite this, 52 Goulding would be considered a fairly well-detailed rendition. The inclusion of a glass front door (including sidelights and a full transom window), true raised front porch with adequate depth for general usage, present cornice board, and a relatively reasonable amount of windows on the side façades are all architectural details that New Traditional Victorians miss, but 52 Goulding does have. Likewise, many New Traditional homes fail to place garages to the side or rear, opting for the modern preference of placing a garage on the front façade. 52 Goulding Place's garage is, instead, side-loaded.

52 Goulding's roof is primarily cross-gabled, but has hipped roofing over the front porch and far rear portion of the house.

Retaining wall

The proposed retaining wall is made of concrete blocks and is not of any strict architectural form. The proposed wall has a maximum height of 4'6", and is 92 feet long, spanning from one side of the property to about halfway through the backyard.

Analysis:

UDC

1.4.1 & 13.7.6 – HPC has the ability to both interpret the UDC Design Guidelines, and to offer relief from undue hardship caused by the provisions of the UDC's historical preservation ordinances. In this case, the applicants have stated that their approved flagstone retaining wall will be overly financially burdensome, especially for a retaining wall whose location naturally eliminates its visibility from the public right-of-way.

In order to ensure the appropriateness of the viewshed from abutting properties, a staff recommended condition should be included to require landscaping around the retaining wall.

UDC Design Guidelines

Section 1.27 – Requires that retaining walls not limit the impact on the natural surrounding. This retaining wall largely replaces an already existing retaining wall and does not further alter the natural grade. Existing trees and vegetation are protected, and stream buffer remains unaffected.

Section 4.13c – Concrete blocks are one of the only *explicitly* forbidden building materials for a new retaining wall in the Historic District. The proposed retaining wall is a concrete block wall.

Figure 33 – The less visible rear of a property is considered not as critical to the preservation of historical objects and viewsheds. As this retaining wall is located to the less visible rear of the property, the HPC has the option to not adhere strictly apply the UDC Design Guidelines.

Reasoning for recommendation

Staff recommends **approval with conditions** for this application based on the following reasons:

- While the proposed retaining wall does not use an approved material from the UDC Design Guidelines, the proposed retaining wall is minimally visible from any public right-of-way;
- Staff recommended conditions assist in limiting visibility from abutting properties;
- Strict adherence to the UDC and UDC Design Guidelines may prove financially burdensome to the applicants; and,
- The retaining wall is already located in an area that is not considered highly sensitive to preservation.

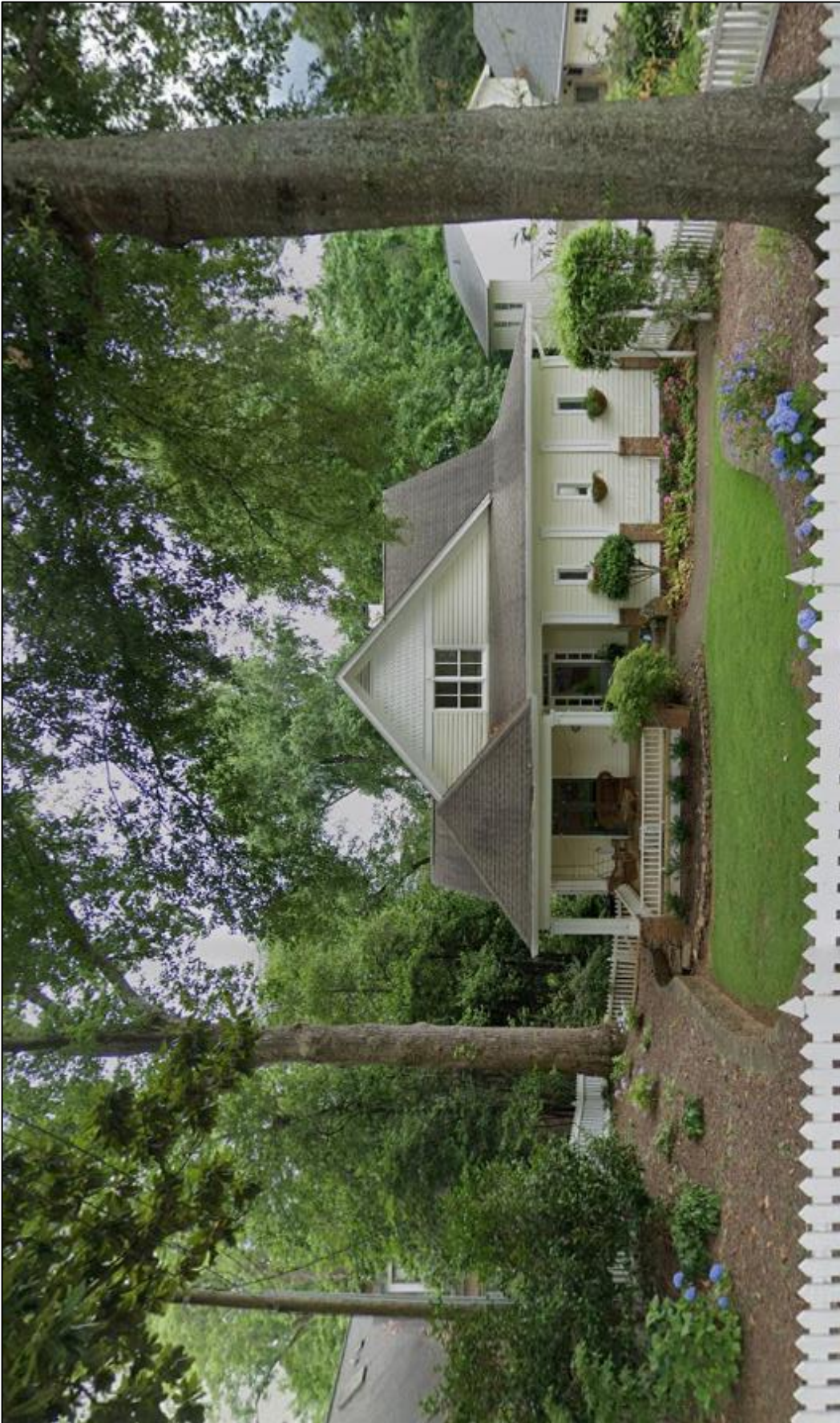


Figure 1. Front façade of 52 Goulding (from Google)



Figure 2. The material proposed by the applicants for the replaced retaining wall (provided by applicants)



Figure 3. An example of the proposed retaining wall material (provided by applicant)

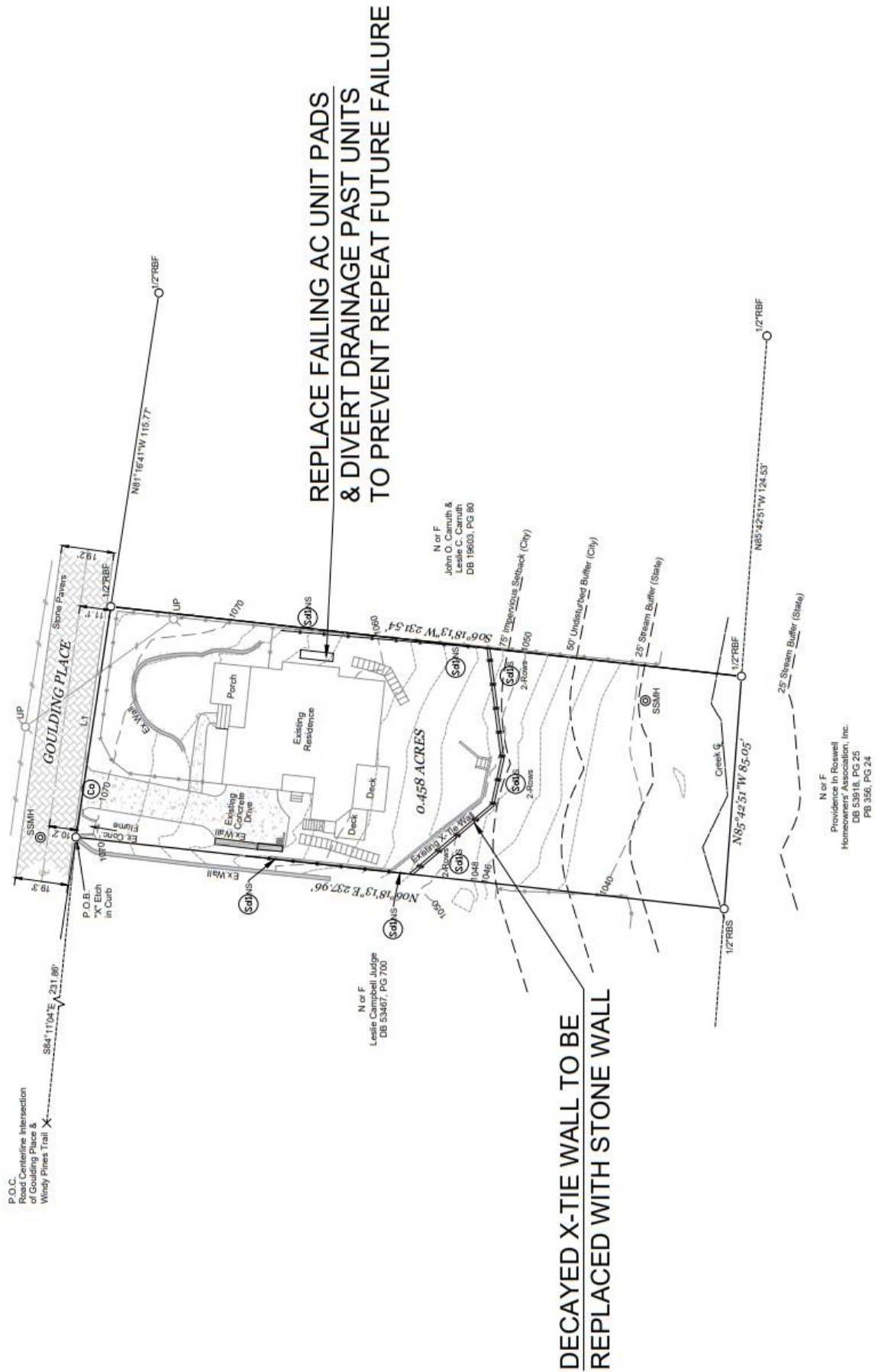


Figure 4. Proposed site plans (provided by applicant)

[illegible]

Department Comments

| | |
|----------------------------|---|
| Fire | <p>Plans reviewed by Robert Major rmajor@roswellgov.com 770-594-6263</p> <p>N/A, no comments.</p> |
| Planning and Zoning | <p>Reviewer: Shea N. Dixon, 770-594-6437, sdixon@roswellgov.com</p> <p>DR - Downtown Residential zoning - single family residential is an allowed use in DH (UDC 5.5.2)</p> <p>Staff approves this application for review by HPC. Staff recommendation will be released with the Staff report at least 1 week prior to the HPC meeting. Recommendation will most likely be based on the following:</p> <ul style="list-style-type: none"> - UDC Design Guidelines 1.27: Retaining wall limits impact on natural surroundings - UDC Design Guidelines 4.13c: Concrete block walls are an expressly not allowed material for retaining walls in the Historic District, regardless of visibility - UDC Design Guidelines Figure 33: Retaining wall is entirely behind the primary structure and is minimally visible from a public right-of-way; therefore, additional leniency can be provided, if HPC approves. - HPC 20251118: A retaining wall (made of a flagstone facade) that is sensitive to the historic context and is not made up of a disallowed material has already been approved by Staff |
| Transportation | <p>Reviewer: Serge Osse - 770-594-6428(direct) 6420(Main) sosse@roswellgov.com</p> <p>Transportation recommends approval (These improvements do not trigger any required transportation comments or improvements)</p> |
| Engineering | <p>Reviewer: Osmany Ordóñez, Engineering Manager, 770-594-6196, oordonez@roswellgov.com</p> <p>An LDP is required.</p> |
| Arborist | <p>Reviewer: Richard Sykes, Planner II, 770-817-6721, rsykes@roswellgov.com,</p> <p>No trees should be negatively affected by this project.</p> |
| Stormwater | <p>Reviewer: Krista Thomas kthomas@roswellgov.com</p> <p>Approved w/ Conditions</p> <p>The applicant is advised: If at any point during demolition and construction operations the limits of proposed new or replaced impervious area is expected to exceed 1,000 square feet, applicant must stop work and submit a revision to the construction plans that accounts for the additional impervious area.</p> <p>The stormwater discharge from a downspout, cistern, or any water collection device is to be located at distance of no less than ten feet from common any property line and oriented so direction of concentrated flow is not toward the adjacent property line; discharge from any downspout should be dissipated, infiltrated, or diverted such that flows will not be concentrated.</p> <p>No person shall erect, construct, or otherwise permit any obstruction (i.e. building, fences, retaining walls, patios, etc.) that prevents the natural or contained flow of water to any component of the stormwater system of the City of Roswell, unless such obstruction is allowed as part of a permit.</p> |

| | |
|-------------------|---|
| Building | <p>Reviewer: Robert Sheppard, Building Division, 770-817-6756, rsheppard@roswellgov.com</p> <p>Building permit required for scope of work proposed prior to beginning construction.</p> |
| Water | <p>Approved, no comments.</p> <p>Chris Boyd 770-817-6750 cboyd@roswellgov.com</p> |
| Sanitation | <p>Reviewer: Nick Pezzello</p> <p>Approved, no comments.</p> |



City of Roswell
Historic Preservation Commission

AGENDA ITEM REPORT

ID # - 10061

MEETING DATE: September 10, 2025
DEPARTMENT: Historic Preservation Commission
ITEM TYPE: Minutes

August 13, 2025 HPC Minutes

Item Summary:

August 13, 2025 HPC Agenda



Historic Preservation Commission

Regular Meeting
<http://www.roswellgov.com/>
 ~Minutes~

Chair Philip Mansell
 Vice Chair Mark Donnolo
 Commissioner Ron Jackson
 Commissioner Lossie Lively
 Commissioner Gurtej Narang
 Commissioner Mary Nichols
 Commissioner Michael Sutton
 Roswell Historical Society Judy Meer

Wednesday, August 13, 2025

6:00 PM

City Hall - Council Chambers

**** Possible Quorum of Mayor and City Council ****

Welcome

I. Call to Order

The meeting was called to order at 6:37 PM by Chair Philip Mansell.

Chair Philip Mansell: Present, Vice Chair Mark Donnolo: Present, Commissioner Ron Jackson: Present, Commissioner Lossie Lively: Absent, Commissioner Gurtej Narang: Absent, Commissioner Mary Nichols: Present, Commissioner Michael Sutton: Absent, Roswell Historical Society Judy Meer: Present, Planner II Shea Dixon: Present, Planning and Zoning Director Jeannie Peyton: Present.

II. Demolition

1. HPC20252779 – 1076 Canton Street – Approval for the demolition of an existing historic structure

| | |
|------------------|---|
| RESULT: | DEFERRED [UNANIMOUS] |
| MOVER: | Mark Donnolo, Vice Chair |
| SECONDER: | Ron Jackson, Commissioner |
| IN FAVOR: | Philip Mansell, Mark Donnolo, Ron Jackson, Mary Nichols |
| ABSENT: | Lossie Lively, Gurtej Narang, Michael Sutton |

III. Certificate of Appropriateness

2. HPC 20252820 – 1076 Canton Street – Certificate of Appropriateness for new construction

Approved with the following conditions:

1. This approval does not include the demolition of any historic portion of the primary structure but can include removal of non-historic portions of the primary structure that are connected to the historic portions;

Attachment: August 13, 2025 HPC Minutes (August 13, 2025 HPC Minutes)

2. The applicants must submit a detailed engineering report to the Chief Building Official, Planning & Zoning Director, and Historic District Planner so that the building can withstand the scope of work;
3. The building must be inspected by the Chief Building Official to demonstrate that it can withstand partial reconstruction without demolition;
4. The applicant must adhere to any and all shoring requirements issued by the Chief Building Official;
5. Applicants must provide staff with details of any and all structures and objects being placed in the setbacks within the proposed fenced enclosure on the South-side of the primary structure for review;
6. Administrative HPC approval must be obtained for the proposed wood fencing. Fencing must either be stained a shade of dark brown or painted to match the primary structure; and
7. Applicant must submit an updated lighting package and photometric plan that meets photometric maximums of 1.0 foot-candles at the property line.

| | |
|------------------|---|
| RESULT: | APPROVED WITH CONDITIONS [UNANIMOUS] |
| MOVER: | Mark Donnolo, Vice Chair |
| SECONDER: | Ron Jackson, Commissioner |
| IN FAVOR: | Philip Mansell, Mark Donnolo, Ron Jackson, Mary Nichols |
| ABSENT: | Lossie Lively, Gurtej Narang, Michael Sutton |

IV. Minutes

3. July 9, 2025 HPC Minutes

| | |
|------------------|---|
| RESULT: | APPROVED [UNANIMOUS] |
| MOVER: | Mary Nichols, Commissioner |
| SECONDER: | Ron Jackson, Commissioner |
| IN FAVOR: | Philip Mansell, Mark Donnolo, Ron Jackson, Mary Nichols |
| ABSENT: | Lossie Lively, Gurtej Narang, Michael Sutton |

V. Adjournment

The meeting was adjourned at 8:45 PM.